

- 1. PROJECT: VALLEY ROWLAND VILLA
27-U CONDOMINIUMS
9911 + 9933 VALLEY BLVD.
EL MONTE, CA 91732
- 2. OWNER: MR. JOHNSON FANG
9933 VALLEY BLVD.
EL MONTE, CA 91732
- 3. LEGAL DESCRIPTION: A.P.N.: 8577-011-013/014/015/016
- 4. LOT SIZE: 9911 SIZE: 36,000 SF. (0.840 ACRES)
9933 SIZE: 22,648 SF. (0.516 ACRES)
LOT TOTAL: 59,048 SF. (1.356 ACRES)
- 5. ZONING: EXISTING C-4 FOR R-4 USE
- 6. CODE: 2019 CALIFORNIA BUILDING CODE (CBC)
- 7. RESIDENTIAL DENSITY:
59,048 SF. / 1800 SF. = 32.8-U
PROPOSED: 27-U
- 8. BUILDING HEIGHT/STORY: 33'-0"/ 3-STORY
- 9. OCCUPANCY GROUP: R-2 FOR RESIDENTIAL CONDOS
- 10. TYPE OF CONSTRUCTION: 3-STORY TYPE V-A CONSTRUCTION

11. FLOOR AREA:

TYPE A: 1,240 SF. X 19-U =	23,560 SF
TYPE B: 1,248 SF. X 8-U =	9,984 SF
27-U =	33,544 SF

12. TOTAL F.A.R: 33,544 SF / 59,048 SF = 0.57 (< 0.60) OK

13. LOT COVERAGE: 18,478 SF / 59,048 SF = 31.2% (< 45%) OK

14. PARKING SPACE:

REQUIRED PARKING:		
TYPE A: 2-BED UNIT (1,240 SF EACH):	19-U X 2P =	38 SPCS
TYPE B: 2-BED UNIT (1,248 SF EACH):	8-U X 2P =	16 SPCS
	27-U =	54 SPCS
REQUIRED GUEST PARKING:		
ALL UNITS:	27-U / 6 =	5 SPCS
33,544 SF. - 32,400 SF. (1,200 SF. X 27) =	1,144 SF./400 SF. =	3 SPCS
		= 8 SPCS
TOTAL:		= 62 SPCS
PROVIDED PARKING:		
2-CAR GARAGE	27U X 2P =	54 SPCS
GROUND LEVEL RESIDENTIAL:		= 8 SPCS
	(INCLDG 1 H.C.) =	62 SPCS OK

15. LANDSCAPE/ OPEN SPACE:

REQUIRED:

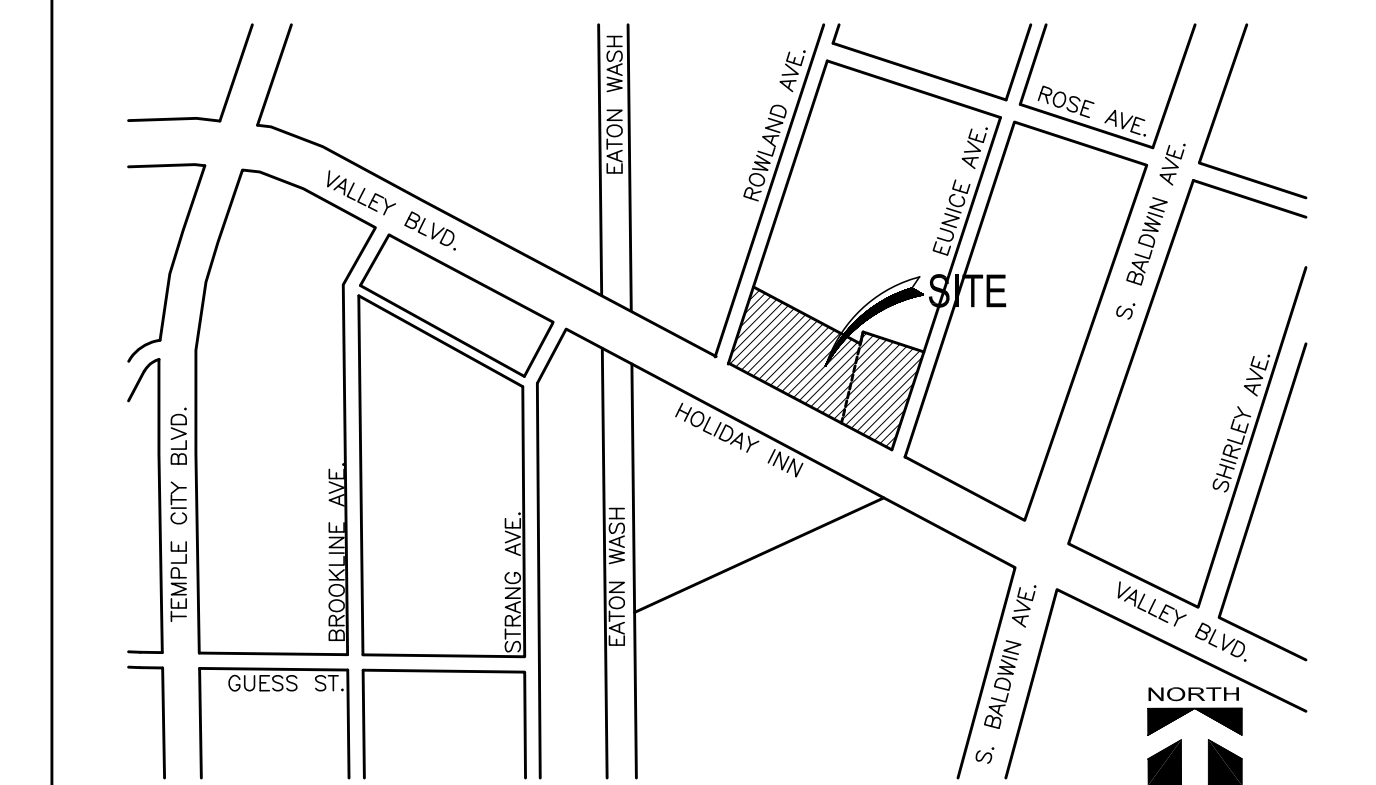
COMMON OPEN SPACE:	27-U X 400 SF. =	10,800 SF
PRIVATE OPEN SPACE:	27-U X 100 SF. =	2,700 SF.
TOTAL PROVIDED		= 13,500 SF.

PROVIDED: (OPEN SPACE):

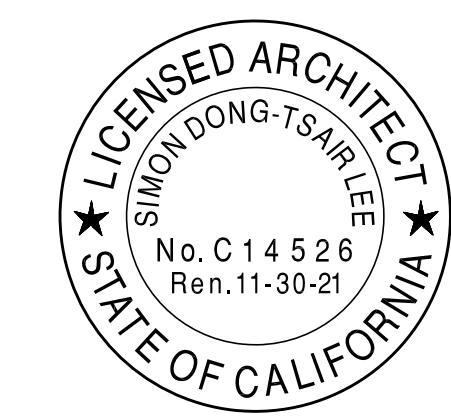
2ND FLOOR: BALCONIES (27-U X 100 SF.)	=	2,700 SF.
1ST FLOOR: COURTYARD OPEN SPACE	=	9,758 SF.
1ST FLOOR: OPEN SPACE	=	5,523 SF.
TOTAL PROVIDED	=	17,981 SF. > 13,500 SF. OK

ARCHITECTURAL	
A-1	GROUND FLOOR PLAN
A-2	2ND FLOOR PLAN
A-3	3RD FLOOR PLAN
A-4	SECTIONS
A-5	TYPICAL FLOOR PLANS: TYPE A
A-6	TYPICAL FLOOR PLANS: TYPE B

1 SHEET INDEX



2 VICINITY MAP



VALLEY ROWLAND VILLA - 27-U CONDOMINIUMS

9911 + 9933 VALLEY BLVD. EL MONTE CA, 91738

SLA # 200422

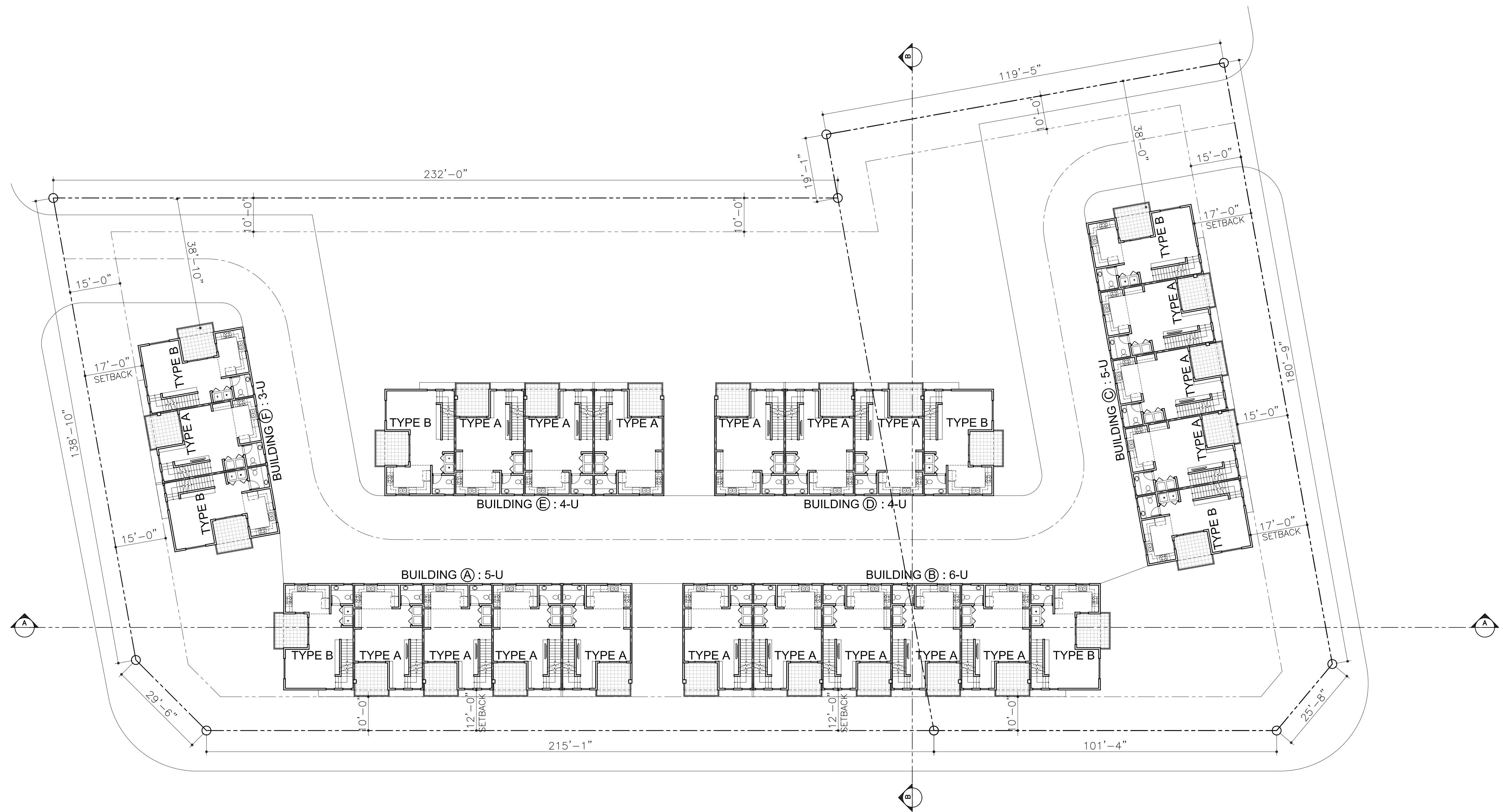
SCALE: 1/16" = 1'-0"

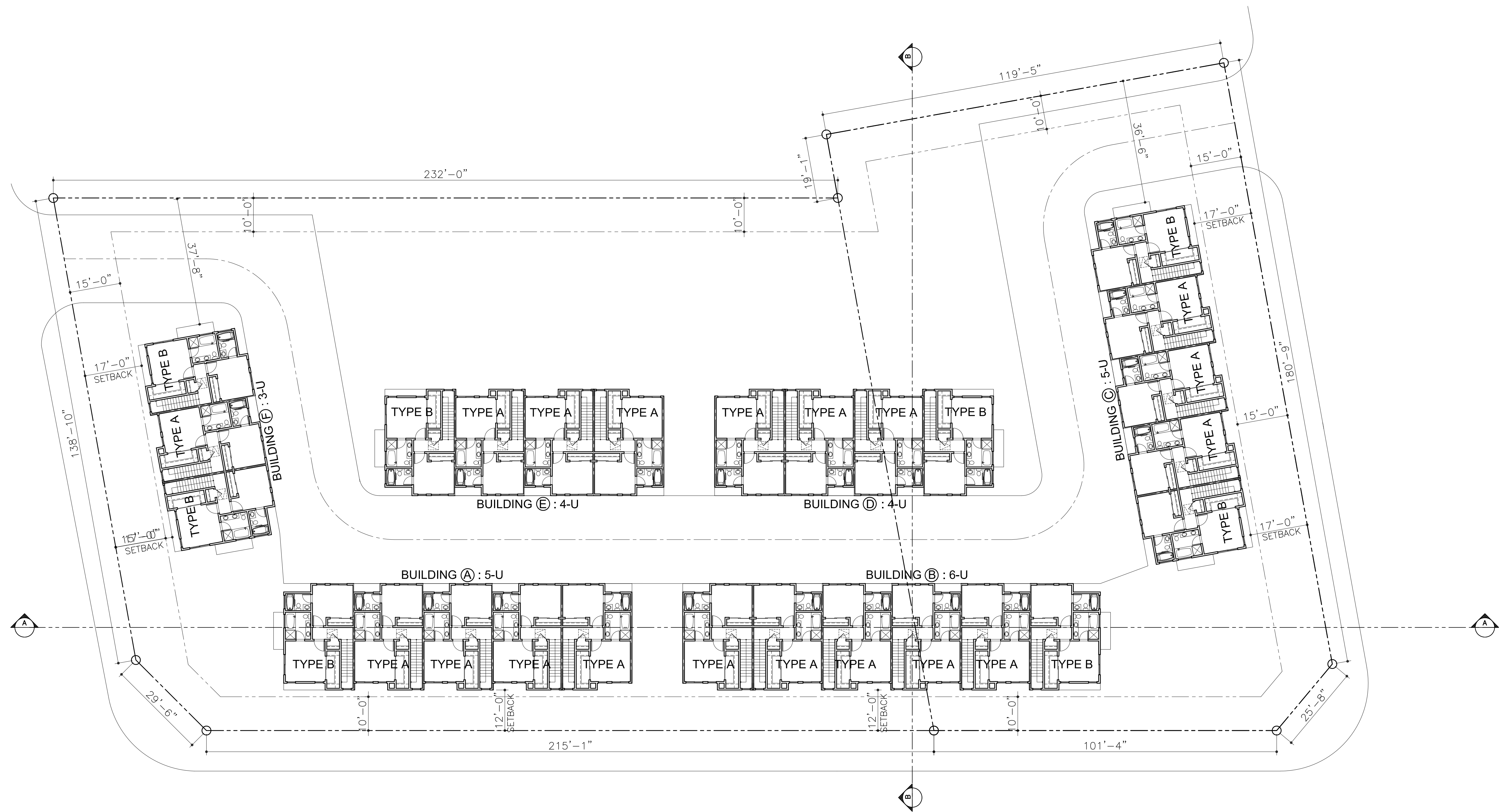


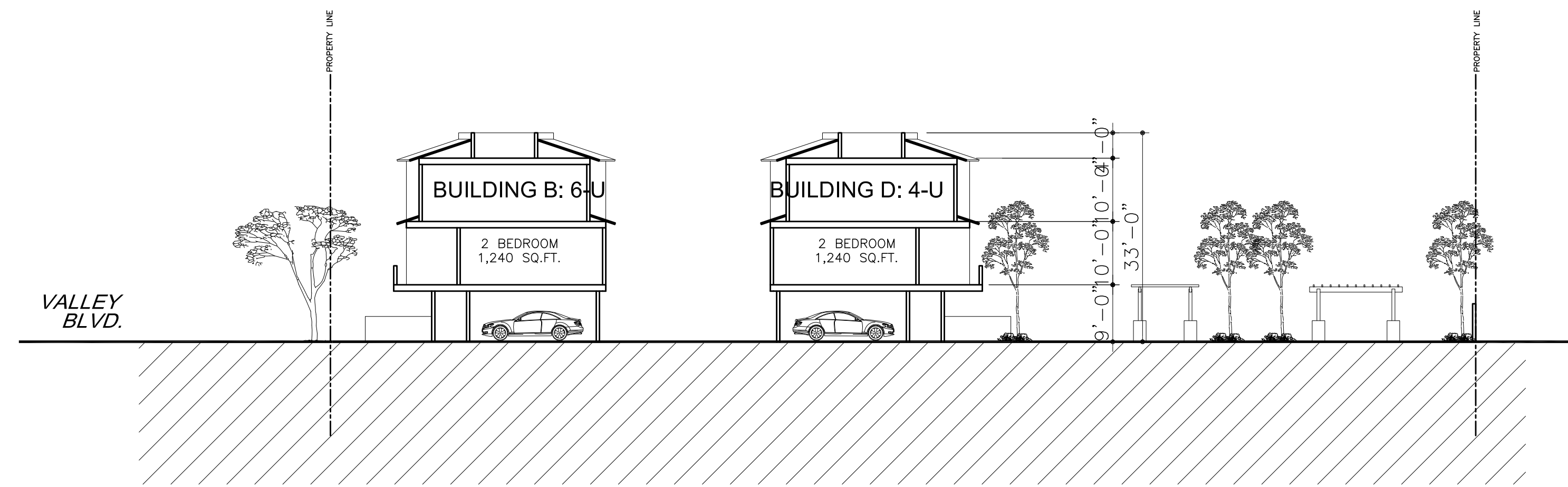
GROUND FLOOR

A-1 Sheet 1 / 6 05/17/2021

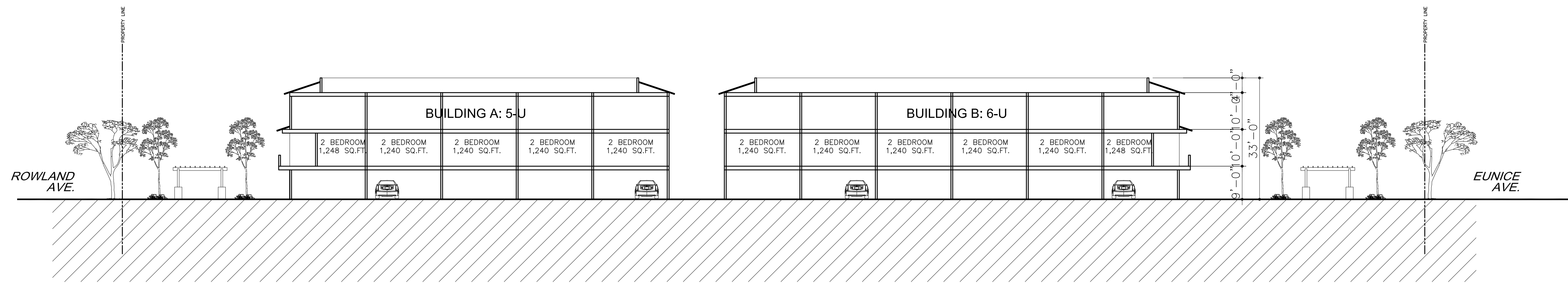
SLA ARCHITECTS INC. 140 W. VALLEY BLVD., SUITE 215, SAN GABRIEL, CA 91776 WWW.SLARCH.COM



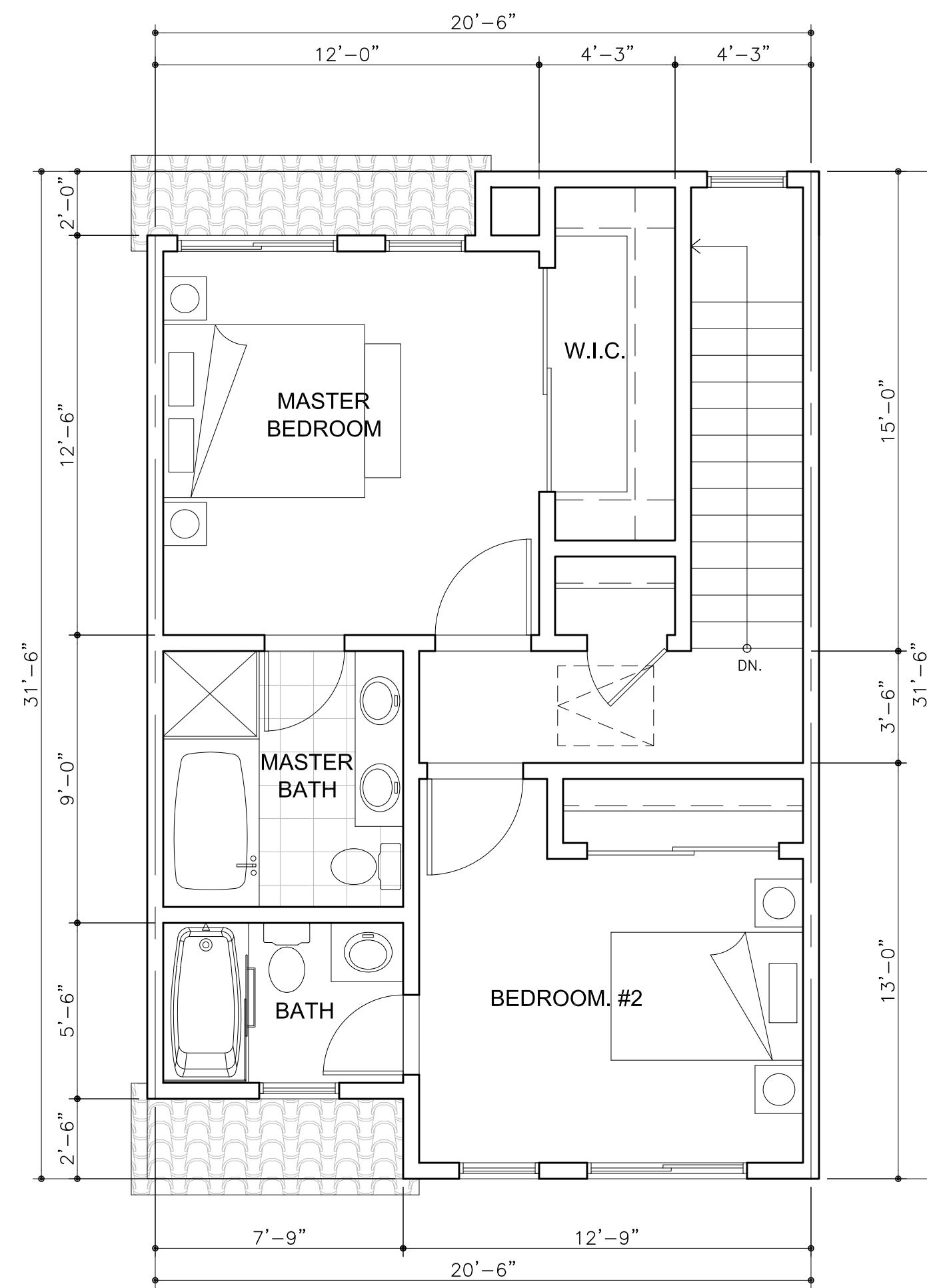




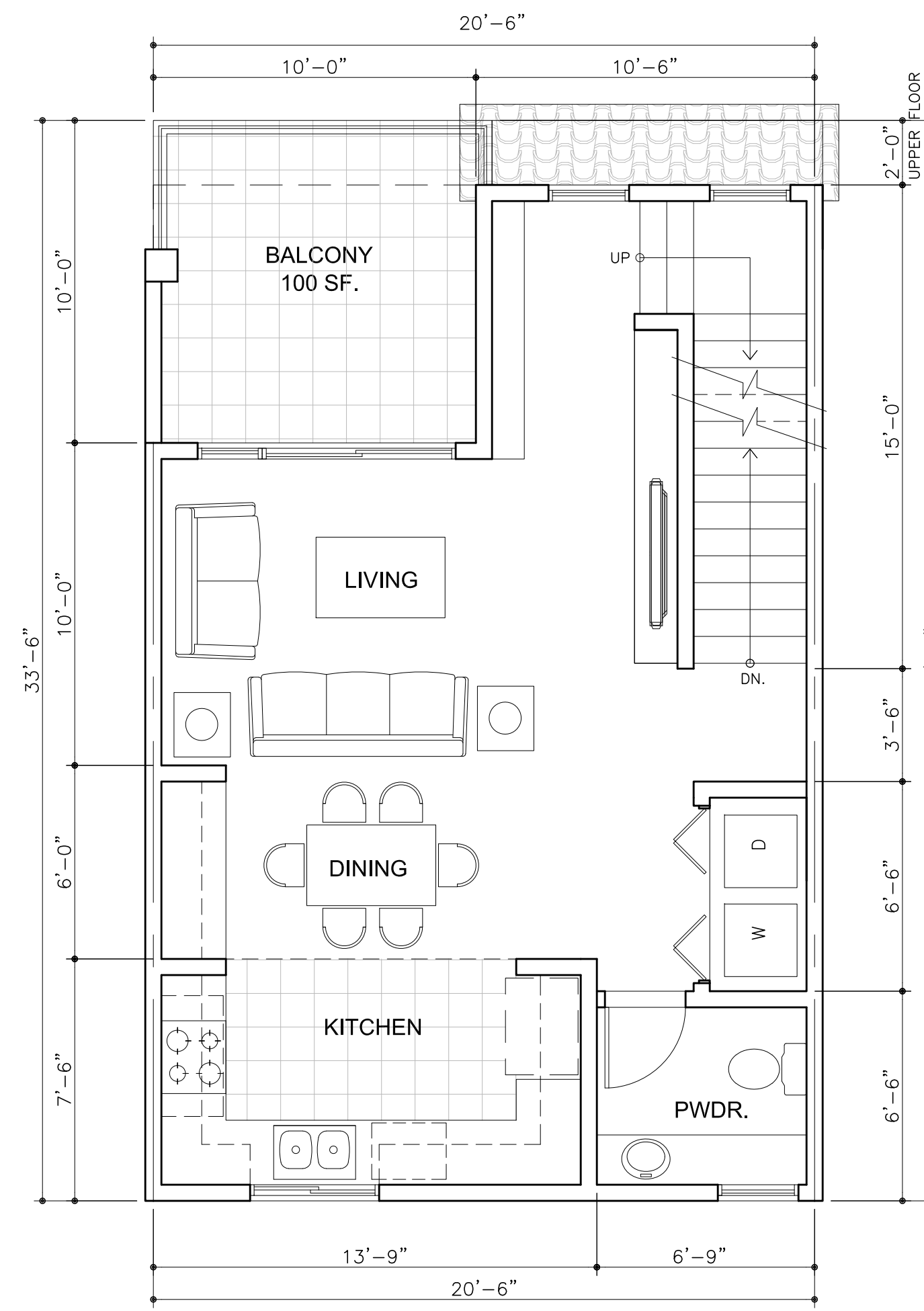
SECTION B



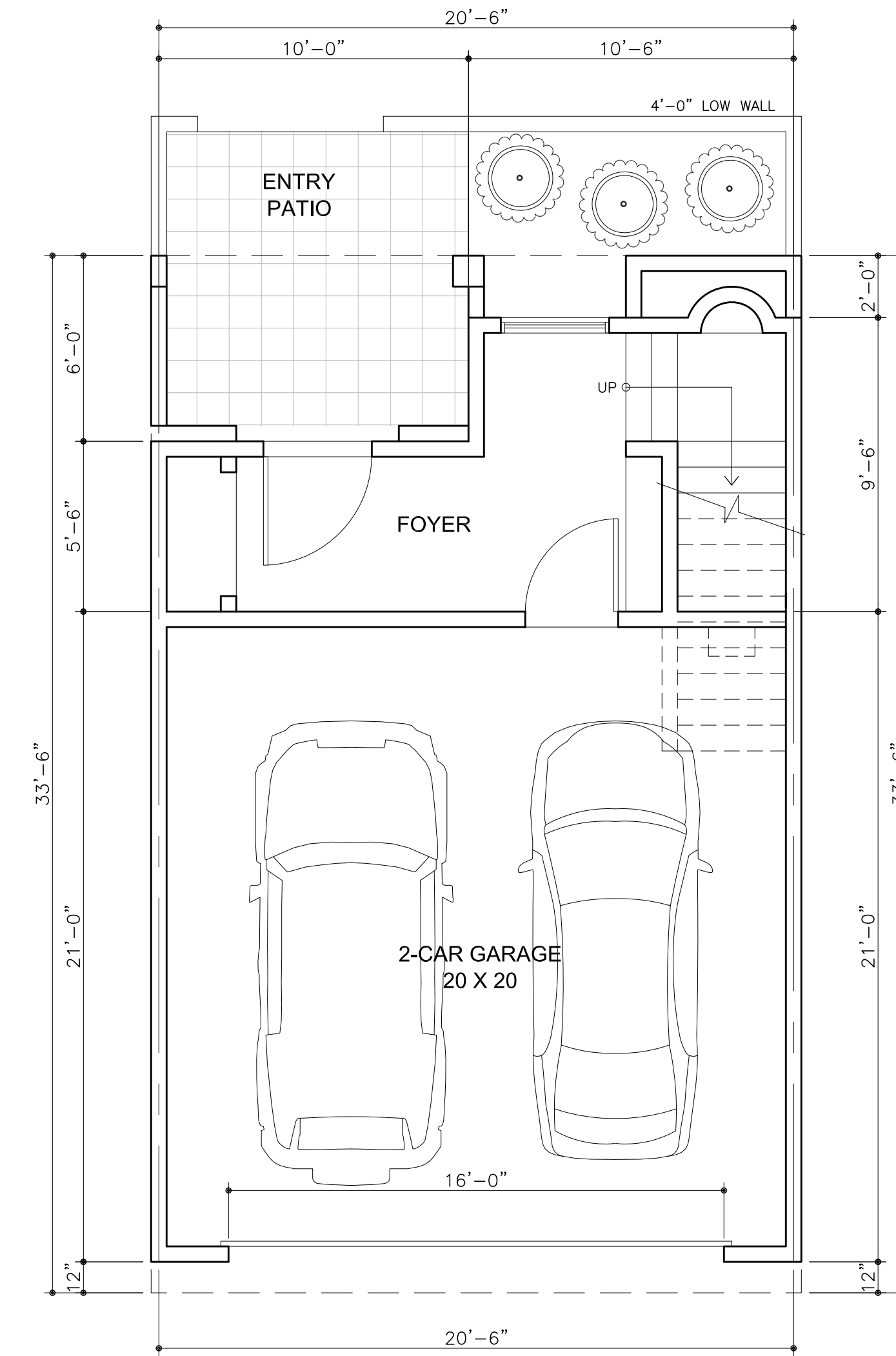
SECTION A



THIRD FLOOR
LIVING AREA: 560 SF

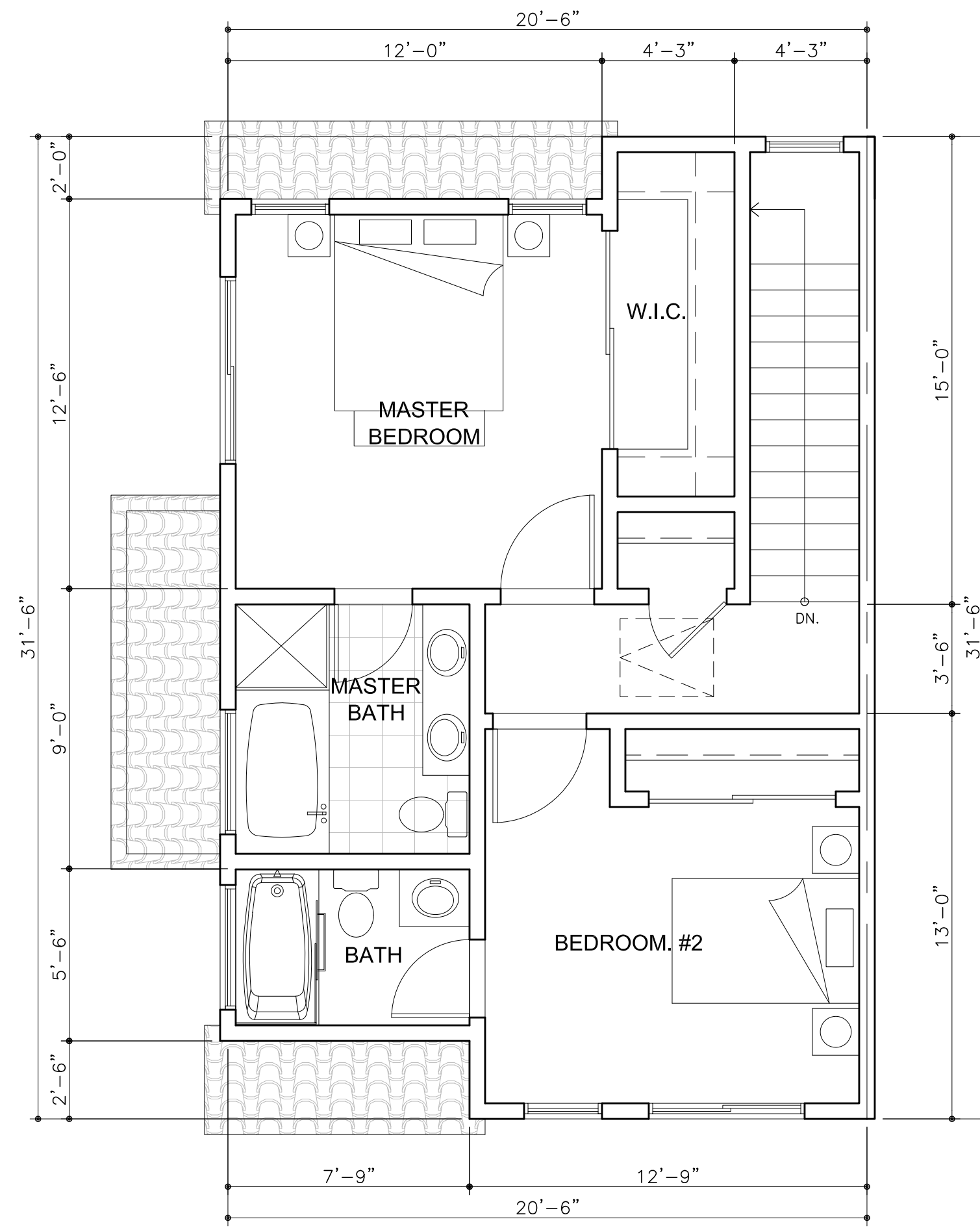


SECOND FLOOR
LIVING AREA: 566 SF

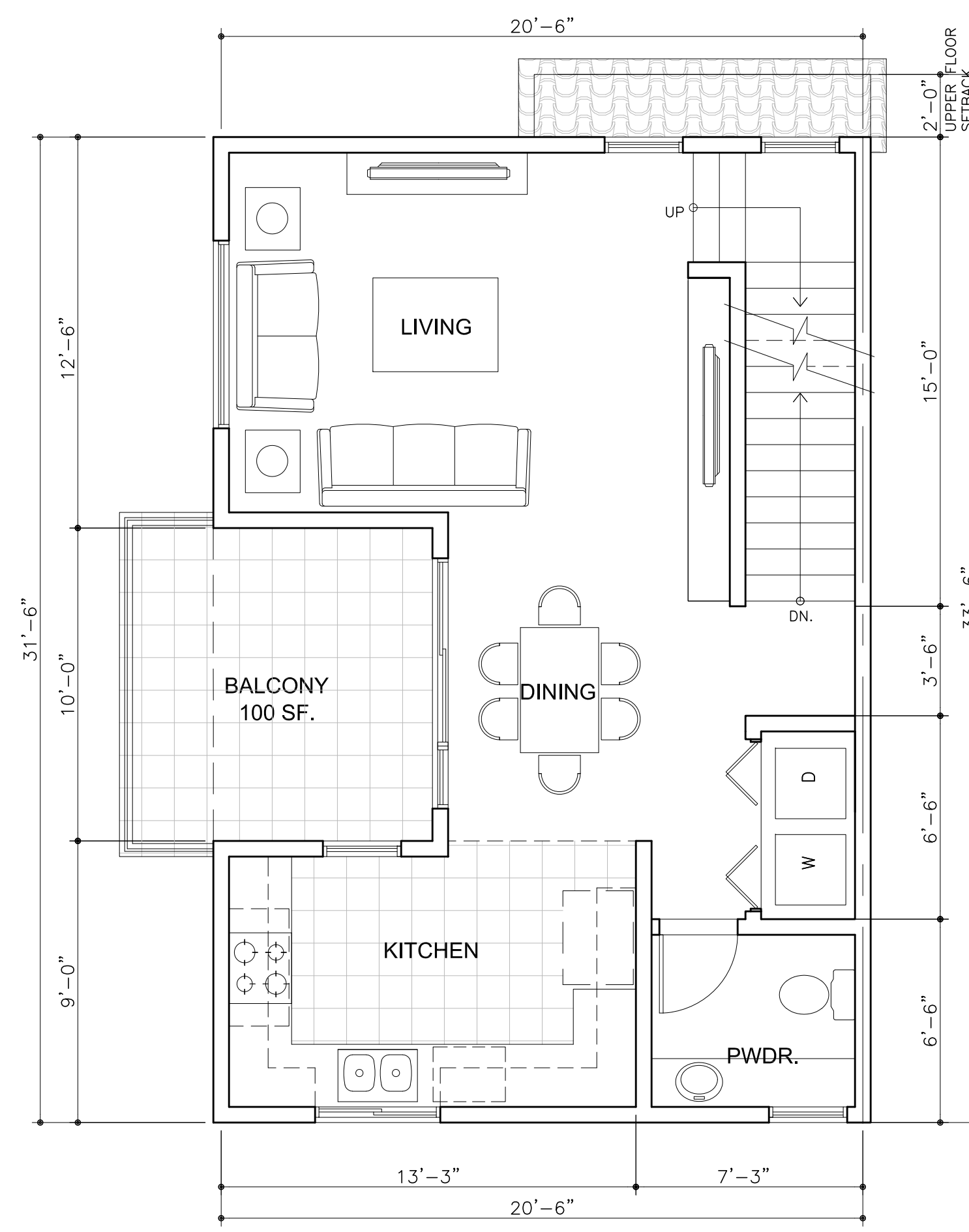


FIRST FLOOR
LIVING AREA: 114 SF
GARAGE AREA: 431 SF

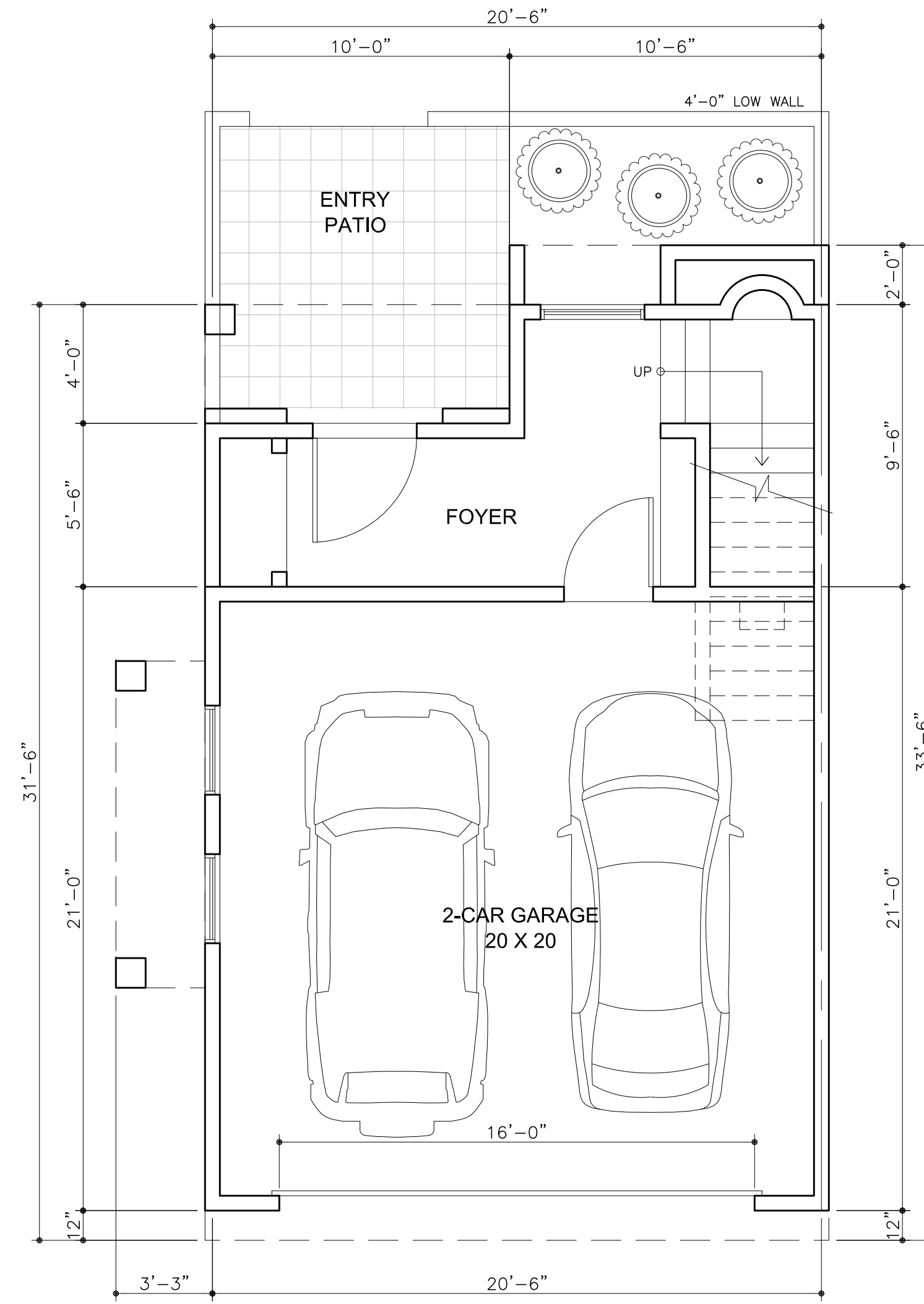
TYPE A (2-BEDROOMS)
TOTAL LIVING AREA: 1,240 SF



THIRD FLOOR
LIVING AREA: 556 SF



SECOND FLOOR
LIVING AREA: 578 SF



FIRST FLOOR
LIVING AREA: 114 SF
GARAGE AREA: 431 SF

TYPE B (2-BEDROOMS: CORNER UNIT)
TOTAL LIVING AREA: 1,248 SF