



CITY OF EL MONTE
COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

*Betty Donavanik,
Director*

*Jason C. Mikaelian, AICP
Deputy Director*

September 20, 2021

Simon Lee, AIA
SLA Architects Inc.
140 W Valley Boulevard, Suite 215
San Gabriel, CA 91776

**SUBJECT: INITIAL PLAN REVIEW NO. 08-21
9909-9933 Valley Boulevard**

Dear Mr. Lee,

Thank you for your interest in developing in the City of El Monte. This letter has been prepared as part of the City's Initial Plan Review (IPR) process in order to provide you with preliminary comments on your proposed multi-family housing project located at 9909-9933 Valley Boulevard. The comments are based on the El Monte Municipal Code (EMMC) and the El Monte Comprehensive Design Guidelines.

The proposed project consists of four (4) parcels that total approximately 59,088 SF currently developed with two (2) vacant commercial warehouse buildings. The proposed project would replace the existing buildings with a three-story townhouse development consisting of six (6) detached buildings that contain 27 units. As of the date of this letter, it has been determined that additional design features and some revisions are recommended for the proposed project. Please see Attachment No. 1 for the City's comments.

Should you have any questions regarding this Initial Plan Review, please do not hesitate to me at (626) 580-2056 or via email at tbu@elmonteca.gov.

Sincerely,



Tony Bu
Senior Planner

Attachments

No. 1- City of El Monte Review

No. 2- Entitlement Procedure and Application Forms Packet

ATTACHMENT NO. 1

IPR No.: 08-21

Site APN: 8577-011-013; -014; -015; -016

Site Address: 9909 - 9933 Valley Boulevard

Lot Area: 59,088 SF

Zone: C-4 (Heavy-Commercial) & R-4 (High-Density Residential)

General Plan: Heavy Commercial & High Density Residential

Existing Development: Two (2) vacant commercial warehouse buildings
(8,100 SF & 6,612 SF)

Surrounding Land Uses:

	General Plan:	Zoning:	Land Use:
North:	High Density Residential	R-4	Single & Multi-Family Residences
South:	Heavy Commercial	C-4	Hotel & Commercial businesses
West:	Heavy Commercial & High Density Residential	C-4 & R-4	Restaurant & Multi-Family Residences
East:	Heavy Commercial & High Density Residential	C-4 & R-4	Retail Shopping Strip

DEVELOPMENT PROPOSAL

Replace two (2) vacant commercial warehouse buildings with a three-story townhouse development consisting of six (6) detached buildings that contain 27 units (for individual ownership). The site will include nine (9) open parking spaces and a 9,225 SF courtyard.

SUMMARY OF MAIN COMMENTS/CONCERNS

1. Overall, the architectural design of the proposed project appears to be appropriate to the location and surrounding context of the site.
2. Comments regarding site planning, massing entries, roof, articulation/detailing, materials/colors, and landscaping, etc. will have to be adequately addressed to ensure that the project will be a high-quality development.

ENTITLEMENT COMMENTS

The project requires a public hearing before the Planning Commission. The public hearing notice will be placed in the newspaper and mailed to all property owners within a 300-foot radius from the project boundary. The public notice will also be posted along the street frontage. The final decision is appealable to City Council.

Required Entitlements:

- **Tentative Tract Map (TTM):** to subdivide the property for condominium purposes;
- **Design Review (DR):** to review the design of a new residential development with more than three (3) units;

Tentative Tract Map Findings:

The Planning Commission and City Council will be required to make all of the following specific findings in order to approve the project:

1. The proposed map is consistent with applicable general and specific plans;
2. The design or improvement of the proposed subdivision is consistent with applicable general and specific plans;
3. The site is physically suitable for the type of development;
4. The site is physically suitable for the proposed density of development;
5. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
6. The design of the subdivision or the type of improvements is not likely to cause serious public health problems; and
7. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements for access or for use will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record and to easements established by judgment of a court of competent jurisdiction. No authority is granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

Design Review Findings:

The Planning Commission and City Council will be required to make all of the following specific findings in order to approve the project:

1. The granting of the design review request will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity;
2. The design of the proposed project would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of

materials, textures, and colors that will remain appealing and will retain a reasonably adequate level of maintenance;

3. The design and layout of the proposed project will not unreasonably interfere with the use and enjoyment of neighboring existing or future development, and will not result in vehicular and/or pedestrian hazards;
4. The architectural design of the proposed project is compatible with the character of the surrounding neighborhood and will maintain the harmonious, orderly and attractive development contemplated by the provisions of this chapter and the general plan;
5. The landscape considerations including the location, type, size and coverage of plant materials, provisions for irrigation, maintenance and protection of landscaped areas, have been provided to insure visual relief, to complement buildings and structures and to provide an attractive environment; and
6. The architectural design, layout and site configuration is consistent with the City's adopted "comprehensive design guidelines."

Application Fees Required:

Design Review (1 st 20,000 SF):	\$ 2,713.62
Design Review (each add'l 5,000 SF):	\$ 858.36
Tentative Tract Map (Base Fee):	\$ 1,549.22 (40% reduced)
Tentative Tract Map (28 Parcels):	\$ 598.75 (40% reduced)
Environmental Review/Compliance	\$ 1,713.25
Environmental Compliance Fee	\$ <u>75.00</u> (separate check for LA County Recorder)
Total:	\$ 7,508.20

Notes:

- ***Entitlement applications submitted after January 1, 2022 will be subject to increased fees per the City's comprehensive fee study.***
- *A copy of the application forms and application instructions has been attached.*
- *All fees are inclusive of the required General Plan and Technology Enhancement fees and equals to approximately 3% of the total of each applicable application.*
- *Fees are adjusted annually to factor in inflation.*

ENVIRONMENTAL REVIEW

Staff believes the project may qualify for an exemption per the California Environmental Quality Act (CEQA). If it is found that the project does not qualify for an exemption (i.e. after further analysis), an Initial Study will be required. Other technical studies such as traffic, air quality, noise, etc. may also be required. The applicant would be responsible for managing the cost and preparation of the environmental documents (i.e. the Initial Study and any technical studies). The City will also require a 25% administrative fee (of the cost of the environmental documents) and a peer review fee (to have the documents

reviewed by a 3rd party consultant). A deposit of \$5,000 will be collected to cover initial staff hours.

CITY REVIEW

Based upon the preliminary site plan and architectural design, the following table and comments have been provided to reflect the proposed project's compliance to the development standards of the R-4 (High-Density/Multiple Family) zone. Please consider the comments carefully, as they will help guide the review of your future entitlement package.

Table 1: R-4 Development Standards (for C-zoned Properties)

<i>Development Feature</i>	<i>Required</i>	<i>Proposed</i>	<i>Meets Requirement(s) ?</i>
Density:	32 units (max.)	27 units	Yes
Lot Area:	10,000 SF (min.)	58,905 SF	Yes
Lot Frontage:	70' (min.)	300'+	Yes
Floor Area Ratio:	35,343 SF (max.)	33,949 SF	Yes
Dwelling Unit Size:	<u>2-Bed</u> : 1,000 SF (min.)	<u>2-Bed</u> : 1,255 & 1,263 SF	Yes
Building Height:	3-Stories/40' (max.)	3 stories/CND	CND; appears to meet requirement
Front Setback: (First Floor)	15' (min.)	<u>Rowland Ave.:</u> 15' <u>Eunice Ave.:</u> 15'	Yes
Front Setback: (Upper Floors)	Additional 2' (min. from first floor)	<u>Rowland Ave.:</u> additional 2' <u>Eunice Ave.:</u> additional 2'	Yes
Side Setback: (First Floor)	10' (min.)	Valley Blvd.: 10'	Yes
Side Setback: (Upper Floors)	12' (min. from PL)	Valley Blvd.: 12'	Yes
Rear Yard Setback	10' (min.)	CND	CND; appears to meet requirement
Distance Between Buildings	15' (min.)	15'+	Yes
Total Usable Open Space	10,800 SF (min.)	CND	CND; appears to meet requirement
Private Open Space	100 SF per unit (min.)	100 SF per unit	Yes
Private Open Space Dimensions	10' by 10' (min.)	10' by 10'	Yes
Parking Spaces	2-car garage per unit & 4 open guest spaces	2-car garage per unit & 9 open guest spaces	Yes
Electric Charging Stations	2 spaces	0 spaces	No; provide 2 electric charging stations
Trash	Common trash enclosure	Common trash enclosure	Yes

Planning Division Comments:

Development Regulations

1. The maximum overall building height requirement for the development is 40 feet; however, the elevation drawings do not provide a measurement/dimension from the highest pitch of the roofline. Provide a measurement/dimension from the highest pitch of the roofline.
2. On Sheet A-1 (Ground Floor), the rear setback of the development appears to meet the minimum requirement of 10 feet; however, there is no measurement/dimension to confirm the exact rear setback distance(s). Provide measurements/dimensions for all building setback distances that abut the rear property line.
3. On Sheet A-1 (Ground Floor), show the outline and label existing uses of the structures for northern/adjacent properties.
4. On Sheet A-1 (Ground Floor), the proposed common open spaces at the corner of Rowland Avenue and Valley Boulevard (2,243 SF) and the corner of Eunice Avenue and Valley Boulevard (3,280 SF) utilize the required front and street-side setback as part of the usable common open space calculation. However, the EMMC excludes the required front and street-side setback to be counted towards usable common open space. Provide revised calculations/SF for the proposed common open spaces.
5. A minimum of two (2) electric charging stations are required to be proposed within the open parking spaces. Provide a minimum of two (2) electric charging stations.
6. The Site Plan (Sheet A-1) and Landscape Plan (Sheet L-1) does not show the proposed improvements/final build-out of the public-right-of-way along Rowland Avenue, Valley Boulevard and Eunice Avenue. Show all proposed improvements within the public-right-of-way on the Site Plan and Landscape Plan. In addition, provide full dimensions of the public right-of-way and show all existing infrastructure (utility poles, fire hydrants, etc.) and trees that are proposed to remain.
7. The Site Plan shows that two (2) trash enclosures will be located along the north property line. The trash enclosure shall be constructed with decorative finish and materials that match and/or complement the design of the overall development and includes a solid roof cover and a drain that connects to the sewer system. Provide 360° elevation drawings for the proposed trash enclosures and identify all proposed finish materials.
8. On Sheet A-1 (Ground Floor), the proposed open parking spaces do not include

full dimensions to verify that they meet the minimum parking stall size requirements. Provide dimensions for the open parking spaces to confirm that they meet the minimum stall size requirements.

Architecture

9. The cantilevered awnings proposed along the street facing patios and the courtyard appear to look tacked-on and lacks structural support. Provide Spanish-style wooden support columns that connects onto the patio walls. (See Exhibit 1).
10. Provide wooden shutters that are painted in a muted-accent color to add visual interest to the buildings. (See Exhibit 1).

Exhibit 1: Wooden trellis support columns & Shutters



Landscaping Plan

11. The landscape plan shall show all proposed and existing improvements (that are to remain) within the public-right-of-way along Rowland Avenue, Valley Boulevard and Eunice Avenue.
12. A minimum of four (4) 24"-box trees are required for the public-right-of-way along Rowland Avenue and a minimum of six (6) 24"-box trees are required for the public-right-of-way along Eunice Avenue. Valley Boulevard is required to have a minimum of eleven (11) 24"-box trees for the public-right-of-way.
13. The Landscape Plan shall provide for a variety of groundcover, grasses, shrubs, perennials, and ornamental trees with various textures, heights, size and a variety of foliage and flower color.

14. Propose bicycle racks with a minimum of six (6) bicycle parking spaces within the common open space.
15. Provide full dimensions for all proposed landscape planters.

Other Comments

16. Per the EMMC Chapter 15.07 – El Monte Art in Public Places Program, the project is required to acquire and install an art piece that is accessible to the public (within the vicinity of the project site) or contribute funds to the “Art in Public Places” fund which is equal to one percent (1%) of the total project cost.
17. Show all proposed mechanical equipment (A/C units, transformers, electrical panels/meters, automatic gas shut off/ earthquake safety valves, etc.) on the site plan. Per the EMMC Section 17.06.095(B), mechanical equipment shall not be located closer than three (3) feet away from the interior side or rear yard property lines and shall not be located within the required front or street-side setbacks. All mechanical equipment shall be completely screened from public view with decorative features (that are architecturally compatible to the building) such as walls and landscaping.
18. A photometric/lighting plan will be required as a condition of approval for the project. This will be reviewed during the Building plan-check review stage. For entitlement submittal, the applicant is responsible to show all proposed/existing lighting on the site and building (site & elevation plans). All driveways, pedestrian paths, public-right-of-way, common and private open spaces shall provide adequate lighting. All proposed light fixtures shall be decorative to match/complement the proposed development. Light fixtures adjacent to residential neighbors shall be designed with shields to prevent light spill-over. Cut-sheets for proposed design of any new lighting shall also be provided to staff for review when submitting for project entitlement.

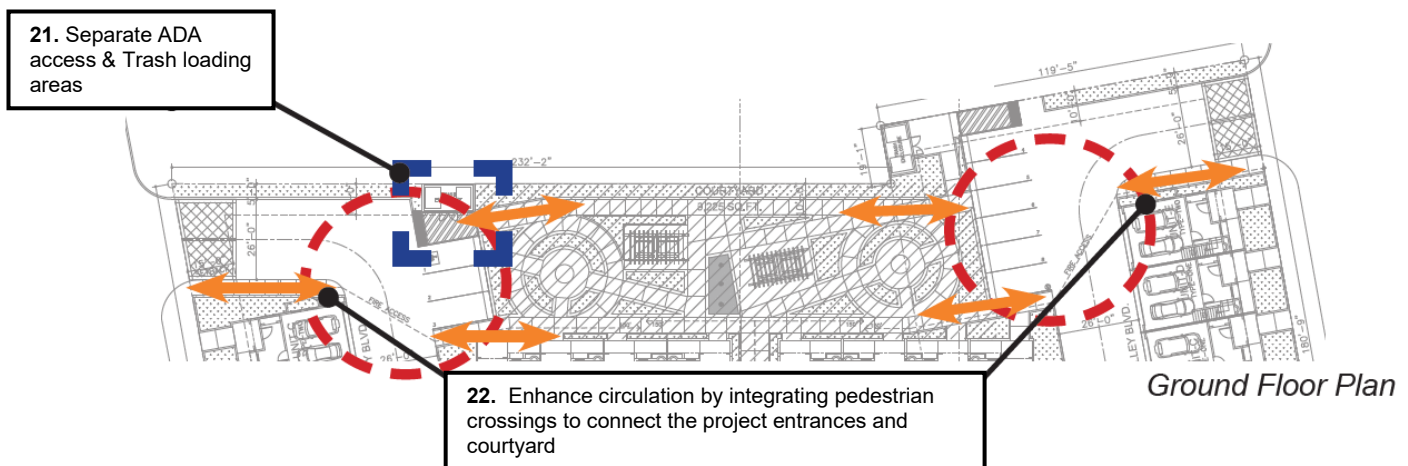
RRM Design Group Comments:

The following recommendations were provided by the City's architectural design consultant, RRM Design Group, to provide high-level design comments that are believed to better respond to the proposed site plan and "Spanish Colonial Revival" architectural style of the building. Staff strongly believes that the following comments will enhance the overall design of the project.

Site Planning

19. Implement additional programming to the common open space areas (specifically the courtyard) to allow for increased passive and active uses, such as a small tot lot, BBQ areas, community garden, and/or fire pits.
20. Integrate design interventions to ensure privacy, security, and safety on patios fronting the public sidewalks (along Rowland Avenue, Valley Boulevard and Eunice Avenue) and the corner open space and more clearly depict private and public areas.
21. Separate ADA access from trash loading areas to avoid conflicts with use. (See Exhibit 2).
22. Provide pedestrian crossings at the east and west entrances of the project's driveways to connect to the courtyard. (See Exhibit 2).

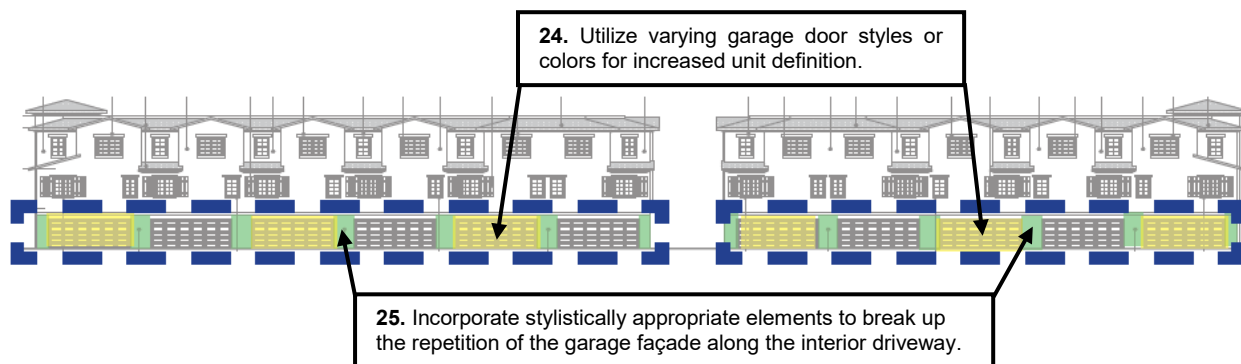
Exhibit 2: RRM Design Group (Marked-up Site Plan)



Architecture

23. Integrate additional colors, materials, and/or other stylistically appropriate articulation and detailing.
24. Utilize varying garage door styles or colors for increased unit definition. (See Exhibit 3).
25. Incorporate stylistically appropriate elements to break up the repetition of the garage façade along the interior driveway such as trellis, lighting, landscaping, and/or additional color/materials between the garages to give interest at the pedestrian level (See Exhibit 3).

Exhibit 3: RRM Design Group (Elevations)



26. Provide more variation in articulation of window elements, such as arches, awnings, and other stylistically appropriate elements to provide more interest and variation in the project design.
27. Further accentuate entryways through additional colors, materials, and/or other stylistically appropriate articulation and detailing. (See Exhibit 4).
28. Consider the use of pilasters and gates on the patio walls to clearly define unit entries. (See Exhibit 4).

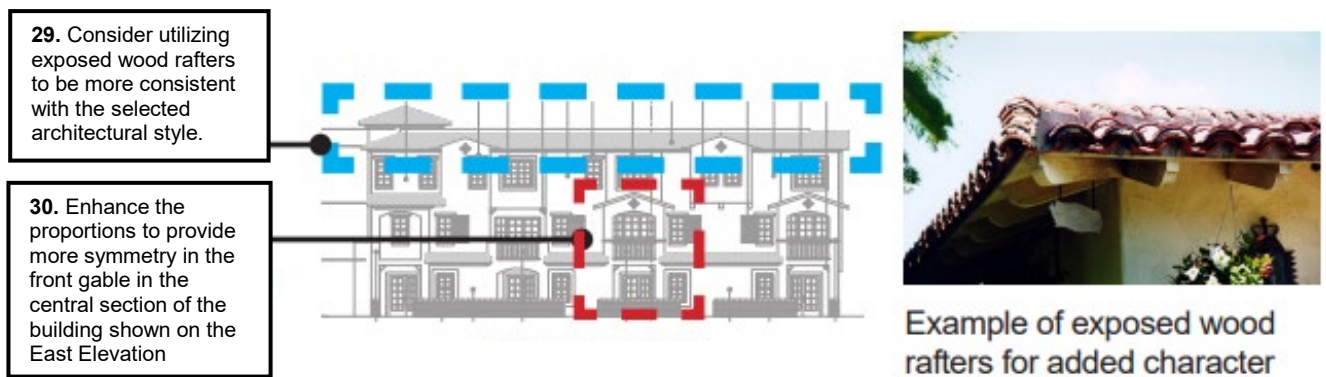
Exhibit 4: RRM Design Group (Entryways & Gates/Pilasters)



29. Consider utilizing exposed wood rafters to be more consistent with the selected architectural style. (See Exhibit 5).

30. Enhance the proportions to provide more symmetry in the front gable in the central section of the building shown on the East Elevation on Sheet A-5. (See Exhibit 5).

Exhibit 5: RRM Design Group (Elevations)



31. Ensure that the windows are symmetrical throughout the project design. (See Exhibit 6)

32. Consider reducing divided lites on key windows and doors for increased variety and unit definition. (See Exhibit 6).

33. Incorporate additional varied color and/or material changes throughout the project to better identify the individual units and break up the repetitiveness in the design.

Exhibit 6: RRM Design Group (Elevations)



34. Enhance the pedestrian experience and create more “Spanish-Eclectic” style entries through the use of stucco for the patio wall material.

35. Utilize wrought iron gates for the patios fronting Valley Boulevard to provide security and definition of public and private space.



Examples of stucco walls, pilasters, and gates used to provide architectural character and increased visual interest at the pedestrian level

Landscaping

36. Provide additional trees throughout the project, especially at parking areas and along the street frontages.

37. Consider the use of palm trees, as accent trees, along Valley Boulevard to match the existing street planting.

Exhibit 7: RRM Design Group (Palm Trees)

37. Consider the use of palm trees, as accent trees, along Valley Boulevard to match the existing street planting.



38. Look for opportunities to incorporate alternating tree placement in the public and private spaces.
39. To further enhance the design, consider including longer lived shrubs in the open space area at the northern portion of the site.
40. There are concerns that the massing of *Bouteloua* will die back seasonally and will need to be replanted a few years, and the applicant should look for opportunities to integrate evergreen accent shrubs in the common open space areas to provide year-round interest.
41. The size of the turf area on Rowland appears narrow and the applicant should ensure the width meets MWELO's minimum requirements.
42. Ensure that plants selected for the north side of buildings, walls, and fences are able to tolerate dense shade conditions.
43. The plant symbols should accurately represent the average width they will grow.
44. *Dodonaea* and *Rhamnus* will quickly outgrow the size of the planter areas and narrower growing shrubs combined with fast growing trees should be used in these locations.
45. A plant symbol with "K" is shown on plans but not found in the legend. Ensure all proposed plants are listed on the legend.

City's Public Works Comments:

Please contact Kevin Ko, P.E., at (626) 580-2058 from the Engineering Division if you have any questions regarding the following Public Works comments:

Overview:

57. Submit Tentative Tract Map in conformance with City of El Monte Municipal Code Chapter 16.10 and the Subdivision Map Act to subdivide the 27 units for this proposed project.
58. Sewer Connection – Proposed project will connect to City of El Monte Sewer line in Rowland Avenue, Eunice Avenue, and Valley Boulevard. Downstream treatment is provided by Sanitation District of Los Angeles County
 - a. Sewer Area / Capacity Study may be required
 - b. Will Serve Letter from Sanitation District of Los Angeles County will be required
59. Water Purveyor – Area is served by California American Water Company
 - a. Will Serve Letter from California American Water Company will be required (during Tentative Map / Planning Approval process)
 - b. Hydraulic Modeling of Water System may be required to verify water requirements can be met
60. Overhead Utilities are required to be placed underground per City of El Monte Municipal Code Chapter 16.28.110
61. Preliminary LID Report will be required for the proposed improvements. Prepare LID in conformance with City of El Monte Ordinance No. 2840 and County of Los Angeles Department of Public Works Low Impact Development Standards Manual
62. A Traffic Assessment Letter that specifies the project description, project generated traffic and trip distribution will be required
63. Development Impact Fees will be required for this project
64. Fire Department Review will be required for access for proposed building and fire flow requirements.

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Fire Department

65. Ensure that the site plan meets all LA County Fire Department requirements, such as fire access/turn-around.

66. The Applicant is responsible for obtaining preliminary comments/conditions from the Los Angeles County Fire Department: Land Development Unit. Their contact number is (323) 890-4243. Please incorporate all Fire comments onto the plans before submitting for entitlement review. The proposed project cannot be scheduled for a Planning Commission public hearing without LA County Fire Department: Land Development Unit's clearance for public hearing.



CITY OF EL MONTE

Community and Economic Development Department
 Planning Division

City Hall West
 11333 Valley Boulevard
 El Monte CA 91731-3293 |
 Phone: (626)258-8626 | Fax: (626)580-2293

ENTITLEMENT APPLICATION SUBMITTAL REQUIREMENTS

Application Type	Acronym	Completed Application	Environmental Information Form	Tentative Maps*	Site Plan*	Floor Plans*	Elevations*	Landscape Plan*	Tree Survey	Color Architectural Renderings	Signage Plan/Master Sign Program	Color Sample and Material Board	Radius Map & Affidavit	Ownership Labels	Complete Set of Photographs	Preliminary Title Report	All files submitted must be in a PDF file
Conditional Use Permit Fees: CUP+Env Comp+ \$75**	CUP	1	1	10	10	10	10	10	1	1	1	1	1	2	1	1	1
Design Review Fees: DR+Env Comp+ \$75**	DR	1	1	10	10	10	10	10	1	1	1	1	1	2	1		1
General Plan Amendment Fees: GPA+Env Comp+ \$75**+env studies, if applicable	GPA	1	1	10	10	10	WA	WA	WA				1	3	WA	1	WA
General Plan Conformity Finding Fees: \$0 when done as part of entitlement package	GPC	1		WA	10	WA	WA	WA	WA						1		1
Modification Fees: Mod 1 Fee and Mod 2 Fee	MOD	1		WA	5	5	5	WA	1				1	2	1		1
Parcel Map or Lot Division Fees: LD + Env Comp +\$75**	LD	1	1	10	10	10	10	10	1	1		1	1	2		1	1
Tentative Tract Map Fees: TTM+Env Comp +\$75**	TTM	1	1	10	10	10	10	10	1	1		1	1	3		1	1
Variance Fees: VAR+Env Comp +\$75**	VAR	1	1	10	10	10		WA	WA				1	2		1	1
Zone Change Fees: ZC+Env Comp+ \$75**+env studies, if applicable	ZC	1	1	10	10	10		WA	WA				1	3	WA	1	WA
Time Extension Fees: TE		1													WA		WA
Revision to Approved Plans Fees: RAP +\$75**		1	1	10	10	10	10	10	1	1	1	1	1	2	1		1
Initial Plan Review Fees: IPR+Arch Design Review+Landscape Plan Review	IPR	1	1	10	10	10	10	10	1	1	1	1			1		1

WA= When applicable

* When 5 copies are required, 3 shall be minimum 24" X 36" and the remainder 11" X 17"
 When 10 copies are required, 6 shall be a minimum 24" X 36" and the remainder 11" X 17"

** A separate check shall made out to LA County (see Planning Fee Schedule)

EL MONTE PLANNING DIVISION FEES (effective 7/1/2020) (a)	TOTAL (b)	BASE HOUR ALLOCATION	HOURLY FEE FOR ADDITIONAL SERVICES (c)
IPR PROCESS			
Residential 2 to 9 units	\$ 6,757.16	22	Direct Cost
Residential 10 to 49 units	\$ 8,160.54	32	Direct Cost
Residential 50+ units	\$ 11,118.90	42	Direct Cost
Non-Residential, Less than 20,000 SF	\$ 6,399.36	22	Direct Cost
Non-residential, 20,000 SF to 59,999 SF	\$ 8,507.04	32	Direct Cost
Non-residential, 60,000+ SF	\$ 10,464.83	42	Direct Cost
CITY COUNCIL ENTITLEMENTS			
Code Amendment	\$ 13,751.63	124	\$107 / hour
General Plan Amendment	\$ 5,798.56	53	\$107 / hour
Zone Change	\$ 5,798.56	53	\$107 / hour
Development Agreement	\$ 5,798.56	53	\$107 / hour
PLANNING ENTITLEMENTS			
Tentative Tract Map (Base Fee)	\$ 2,582.03	29	\$107 / hour
Tentative Tract Map (Per Parcel)	\$ 35.64	N/A	N/A
Parcel Map	\$ 2,591.02	25	\$107 / hour
Planned Residential Development	\$ 2,837.41	27	\$107 / hour
Conditional Use Permit	\$ 2,837.41	27	\$107 / hour
Conditional Use Permit (Special Use)	\$ 3,259.01	31	\$107 / hour
Design Review (1st 20,000 sf)	\$ 2,713.62	26	\$107 / hour
Design Review (each additional 5,000 sf)	\$ 307.68	N/A	N/A
Director Level Design Review	\$ 1,122.72	12	\$107 / hour
Variance	\$ 3,577.69	34	\$107 / hour
Development Opportunity Reserve	\$ 1,295.04	N/A	N/A
Affordable Housing Concession	\$ 1,295.04	N/A	N/A
Park-in-lieu Permit	\$ 778.22	N/A	N/A
Alternating Use Agreement For Parking	\$ 370.16	N/A	N/A
Combination Fees (2+ entitlement)	100% Highest Planning Entitlement Fee; 60% Each Add. Planning Entitlement Fee		
Rev. to Approved Project (Major)	\$ 1,295.04		\$107 / hour
Rev. to Approved Project (Minor)	\$ 778.22		\$107 / hour
Time Extension of an Approved Project	\$ 740.29		\$107 / hour
Re-Noticing Public Hearing	\$ 223.45		\$107 / hour

EL MONTE PLANNING DIVISION FEES (effective 7/1/2020) (a)	TOTAL (b)	BASE HOUR ALLOCATION	HOURLY FEE FOR ADDITIONAL SERVICES (c)
ENVIRONMENTAL (for Planning Entitlements only)			
Environmental Compliance Fee (at submittal, to City of El Monte)	\$1,713.29	N/A	N/A
Environmental County Fee (at submittal, check to LA County)	\$75	N/A	N/A
Environmental Reports & Studies (portion now, to City)	25% of cost	N/A	N/A
Peer Review for Environmental Reports & Studies (later, to City of El Monte)	At cost	N/A	N/A
MODIFICATION PERMITS			
Modification (SF)	\$ 769.44	8	\$107 / hour
Modification (2+ units & non-residential)	\$ 973.42	8	\$107 / hour
Modification Time Extension	\$ 262.35	7	\$107 / hour
Revision to an Approved Modification	\$ 839.41	9	\$107 / hour
WIRELESS APPLICATIONS			
Non-6409 (Non-Public Right-of-Way)	\$ 454.77	4	\$107 / hour
Non-6409 (Public ROW)	\$ 798.78	4	\$107 / hour
Non-6409, Consultant Fee (Public ROW)	\$ 3,202.22		
6409 (Non-Public ROW)	\$ 341.11	3	\$107 / hour
6409 (Public ROW)	\$ 570.71	3	\$107 / hour
Site License Application Fee	\$ 798.78	4	\$107 / hour
Master License Application Fee	\$ 342.88	1	\$107 / hour
LANDSCAPE REVIEW & TREE REMOVALS			
Landscape Plan Review (500 to 1,499 sf)	\$ 370.16	5	\$107 / hour
Landscape Plan Review (1,500 to 2,499 sf)	\$ 788.22	8	\$107 / hour
Tree Inspection (1st tree)	\$ 57.70	N/A	N/A
Tree Inspection (each additional tree)	\$ 28.86	N/A	N/A
Tree Removal Permit (per tree)	\$ 185.06	N/A	N/A
In Lieu Tree Contribution	\$ 431.44	N/A	N/A
After the fact removal	\$ 370.16	N/A	N/A

EL MONTE PLANNING DIVISION FEES (effective 7/1/2020) (a)	TOTAL (b)	BASE HOUR ALLOCATION	HOURLY FEE FOR ADDITIONAL SERVICES (c)
OTHER STAFF REVIEW ITEMS			
Certificate of Occupancy (Commercial)	\$ 338.33	N/A	N/A
Certificate of Occupancy (Home Office)	\$ 172.10	N/A	N/A
Certificate of Occupancy (Name Change only)	\$ 30.64	N/A	N/A
Sign Permit	\$ 338.33	4	\$107 / hour
Zoning Clearance (first 3 reviews)	\$ 370.16	5	\$107 / hour
Zoning Clearance (each review after the 3rd)	\$ 161.77	N/A	N/A
Zoning Clearance (time extension)	\$ 161.77	N/A	N/A
Collection Bin	\$ 370.16		N/A
Preliminary Review for Zoning Standards	\$ 370.16		N/A
APPEALS			
Appeals to the Director (Tree Removal)	\$ 370.16	N/A	N/A
Appeals to the Director	\$ 370.16	N/A	N/A
Appeals to the Planning Commission (SF)	\$ 925.37	N/A	N/A
Appeals to the Planning Commission (non-SF)	\$ 1,665.67	N/A	N/A
Appeals to City Council	\$ 2,080.96	N/A	N/A
OTHER ITEMS			
CC&R	\$ 861.55	N/A	\$107 / hour
Maintenance Agreement Review	\$ 505.79	N/A	\$107 / hour
Covenant for Recordation	\$ 161.77	N/A	N/A
General Plan Map or Zoning Map	\$ 5.30	N/A	N/A
Zoning Letter (Simple)	\$ 370.16	N/A	N/A
Zoning Letter (Complex)	\$ 161.77	N/A	N/A
Copies	\$ 0.15	N/A	N/A

(a) Fees adjusted per the Employee Cost Index for State and Local Government Employees,
Total Compensation (through March 2020)

(b) Includes a 2.09% Tech Fee and a 0.923% General Plan fee

(c) Hourly fee for additional services for time in excess of the base hourly allocation.



CITY OF EL MONTE

Economic Development Department
Planning Division

REQUIRED PLANS FOR FILING

In order for the Planning Department to carry out its review functions, we request that each application contain certain types of materials. Please submit the necessary information listed below.

PLAN SIZE, FOLDING & SCALE REQUIREMENTS:

Size:

When 5 sets of plans are required, 3 shall be minimum 24" X 36" and the remaining 11" X 17"

When 10 sets of plans are required, 6 shall be minimum 24" X 36" and the remaining 11" X 17"

Folding:

Fold all plans to a size of 8½" X 14" or less. Rolled plans will not be accepted.

Scale:

All plans shall be printed to scale. Recommended scales:

Site Plans 1" = 10'

Floor Plans ¼" = 1'

Elevations ¼" = 1'

REQUIRED ELEVATION DRAWINGS:

The following items shall be included on the elevation drawings:

1. Floor height and height to peak of roof
2. Notes regarding colors and exterior materials
3. Door and window details
4. Roof materials and roof pitch
5. Towers, chimneys and other roof projections
6. Location, size and color of all signs, if applicable

REQUIRED SITE PLAN:

The following items shall be included on the site plan:

1. North arrow and scale
2. Location Map
3. Names of adjacent streets and the subject property street address
4. All property lines
5. Setbacks to all property lines and distance between buildings
6. Driveway width and parking stall dimensions
7. Location of all landscape areas

8. All existing structures, all structures to be removed and all new structures
9. Location of all freestanding signs, if applicable
10. Location of all wall and pole lightings, if applicable

COMPLETE SET OF PHOTOGRAPHS:

Provide labeled photographs of the site as well as properties to the north, south, east, and west.

ZONE CHANGES & GENERAL PLAN AMENDMENTS:

Submit copies of the site plan (plot plan) showing the proposed use of the property and the zoning and general plan designation of surrounding properties. Other information may be required as to the proposed physical development of the site.

SUBDIVISIONS (Tracts, Parcels and Lot Divisions):

The Tentative Tract Map shall be a minimum size of 18" X 20" and shall contain all of the following information:

1. Legal description of original parcel to be divided, property lines and north arrow
2. Name, address and telephone number of subdivider and engineer
3. Locations and existing width of all adjacent streets
4. Site topography with elevations and contours
5. All easements, public and private
6. Layout of proposed parcels within subdivisions
7. Existing structures and uses on the property
8. Proposed structures to be constructed
9. Key map showing the location of the site in relation to the surrounding area
10. Approval stamp from Public Works, Southern California Edison and Southern California Gas

CONDITIONAL USE PERMITS:

Submit copies of the complete site plan (plot plan) of proposed building or rental space. Plans should show location and dimensions of parking areas, landscaping, driveways, walls, building signs, freestanding signs and lighting. Submit copies of the floor plan showing the proposed layout and use of interior building space.

VARIANCES & MODIFICATIONS:

Submit copies of the complete site plan (plot plan) of proposed building or rental space. Plans should show location and dimensions of parking areas, landscaping, driveways, walls, signs and lighting. Projections of staircases, balconies, bay windows, eaves, wing walls, chimneys and other building elements shall be shown with dimensions, if applicable to the Variance.

DESIGN REVIEW:

Submit copies of the complete site plan, floor plan and elevations of proposed building or building additions. Include building footprints, landscaping, parking, driveways, building signs, freestanding signs and other important dimensions. Also submit one set of colored elevations.

ARCHITECTURAL RENDERINGS:

The architectural rendering must include the street elevations. An architectural rendering is required for all new commercial and industrial structures. An architectural rendering is also required for all residential projects where a new unit(s) will be visible from a street.



CITY OF EL MONTE

Economic Development Department
Planning Division

PUBLIC NOTICING & POSTING INFORMATION

All planning entitlement projects require a noticed public hearing before the Modification Committee, Planning Commission and/or City Council. The following are completed by the applicant or staff for each project:

1. Applicant submits a radius map indicating all properties within a 300-foot radius of the proposed project. The applicant will also provide labels with each property owner. Depending on the project's size, type and location, additional notification may be needed. See example below:



2. Staff will produce the public notice. The notice will be published in a local newspaper and mailed to all properties within the radius a minimum 10 days prior to the hearing (additional time is required for certain environmental reports).
3. Staff will also post the notice at the site within the same time periods as required for the newspaper and mailing. The applicant shall provide staff with access to the site to complete the posting. The notice shall not be removed until after the public hearing is complete. The notice shall be placed within 10 feet of the property line along all street frontages (either placed in the ground, on a fence or a building). It shall not be placed within the public right-of-way. The applicant shall work with staff on determining the best location(s) for the posting.

PROCEDURES FOR COMPILING PUBLIC NOTICE MAILING LIST:

1. El Monte requires that the applicant look up names and addresses of the affected property owners including properties in adjacent cities, if applicable.
2. Number the affected properties, including the subject property, in an orderly fashion on the map. Also write or type this number in the upper right hand corner of the mailing label.
3. Match each parcel on the radius map to those in the Assessor's map book. Use book, page and parcel (see below):

1234 – 567 – 891 (Map Book - Page – Parcel)

Enter these assessor parcel numbers on the public notice mailing list.

4. After obtaining book, page, and the parcel numbers for each lot, use these numbers to find the names and addresses for all property owners from the Tax Assessor's Roll. If two addresses are shown under one name, use only the first address. (Note: Parcels numbered 900-999 are publicly owned and the parcels numbered 800-899 are owned by public utilities. These are not listed in the tax rolls. List the name and address of the party, which owns the property, if known from other sources.)
5. Include all other people to be notified, such as engineers, architects, or owners' representatives. Include yourself.
6. TYPE ALL NAMES AND ADDRESSES ON ADHESIVE ADDRESS LABELS.
7. The accuracy of the property owners' mailing list is the responsibility of the applicant. IMPROPERLY PREPARED DOCUMENTS MAY DELAY THE APPLICATION OR BE CAUSE FOR DENIAL.
8. RETURN the radius map, mailing list, and property owners list affidavit, with other application materials.

SAMPLE PROPERTY OWNERS LIST / MAILING LABELS:

6161-001-019 (1) Simon Jones & Bob Wiles ET AL 11333 Valley Boulevard El Monte, CA 91731		
6161-001-020 (2) Robert Public 11373 Valley Boulevard El Monte, CA 91731		



CITY OF EL MONTE
Economic Development Department
Planning Division

PUBLIC NOTICE PROPERTY OWNERS MAILING LIST AFFIDAVIT

FOR: _____
Project Address

The undersigned has duly prepared the attached "Property Owners Mailing List". This list includes all of the names and respective addresses, of people being owners of property within 300 feet of the outer boundaries of the subject property. This information is to be obtained from the latest available Los Angeles Tax Assessment Roll.

This list was prepared on _____, from the Tax Roll
(Date)

maintained at _____
(Name and location of office)

THE ACCURACY OF THIS LIST IS THE RESPONSIBILITY OF THE APPLICANT

I do understand that if the attached property owners' list is incorrect any project approval could be rendered invalid. I declare under penalty of perjury that the foregoing is true and correct*

(Print Name)

(Signature)

(City, State)

(Date)

*This verification form being signed under penalty of perjury does not require notarization.



CITY OF EL MONTE

Community and Economic Development
Planning Division

Fire Transmittal Letter

The Los Angeles County Fire Department (LACFD) Land Development Unit is now accepting submittals online for review. All Entitlement Projects require clearance from the LACFD prior to public hearing noticing. The City Transmittal Letter is a required document in order to submit your plans online.

Visit epicla.lacounty.gov to register for an online payment and submittal account. For any questions regarding the uploading and submittal of this document please contact:

FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040-3027
Hours: Mon-Fri 7:30AM – 5:00PM
Phone: (323) 890-4243

APPLICANT INFORMATION

Applicant Name:

Phone:

Email:

Address:

I hereby certify that the submitted materials provided to the City of El Monte, Planning Division for the project indicated are consistent with the submitted materials to the Los Angeles County Fire Department Fire Prevention Division Land Development Unit.

Applicant Signature

Date

PLANNING DIVISION (CITY USE ONLY)

Case Planner:

Phone:

Email:

Address: Planning Division, 11333 Valley Boulevard, El Monte, CA 91731

PROJECT INFORMATION

Review Type:

Entitlement Project Type:

Initial Review

Tentative Parcel Map

Conditional Use Permit

Revision/Resubmittal

Tentative Tract Map

Other: _____

Project Description:

Project Address & APN:

Project Number:



CITY OF EL MONTE
Economic Development Department
Planning Division

ENVIRONMENTAL INFORMATION

I. GENERAL INFORMATION

1. Address of proposed project: _____

2. Proposed Use: _____

3. Zoning: _____ General Plan Designation: _____
4. List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and/or federal agencies: _____

II. PROJECT DESCRIPTION

Prepare a complete description of the proposed project, including all of the following information:

1. Site Size (width and depth) and square footage: _____

2. Type of vehicular access and if, public or private street, name and size: _____

3. Number of Floors of Construction: _____
4. Amount of off-street parking provided: _____
5. Proposed scheduling, including anticipated increments: _____

6. Associated Projects: _____

7. If residential, indicate the number of units, unit sizes, range of sales prices or rents, and expected household size: _____

8. If commercial, indicate type (neighborhood, city or regionally orientated) square footage of sales area and warehousing and loading facilities: _____

9. If industrial, indicate major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits from project: _____

10. If institutional, indicate major function, estimated employment shift, estimated occupancy, loading facilities, and community benefits from project: _____

III. ECONOMIC IMPACTS

1. Indicate the potential number of construction jobs that would be created if the project site should be developed: _____

2. Indicate the potential number of permanent jobs that would be created from the development:

3. Indicate the current assessed valuation of the property:

4. Indicate the estimated assessed value of the property after the project is built:

5. Indicate the projected sales tax resulting from the development:

IV. ENVIRONMENTAL SETTING

1. Describe the project site as it currently exists, including information on topography, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site and their use. Attach photographs of the site: _____

2. Describe the surrounding properties, including information of plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use, intensity (one-family, apartments, shops, department stores, etc.) and scale of development (height, frontage, setback, etc.) Attach photographs of vicinity: _____

DOES THE PROJECT HAVE THE POTENTIAL TO RESULT IN ANY OF THE FOLLOWING (ANSWER YES OR NO):

	Yes	No
1. Change in existing features of any bays, tidelands, beaches, lakes or hills, or substantial alteration of ground contours?	<input type="checkbox"/>	<input type="checkbox"/>
2. Change in scenic views or vistas from existing residential areas or public lands and roads?	<input type="checkbox"/>	<input type="checkbox"/>
3. Change in patterns, scale or character of general area of project?	<input type="checkbox"/>	<input type="checkbox"/>
4. Significant amounts of solid waste or litter?	<input type="checkbox"/>	<input type="checkbox"/>
5. Change in dust, ash, smoke, fumes or odors in vicinity?	<input type="checkbox"/>	<input type="checkbox"/>
6. Change in ocean, bay, lake, stream or ground water quality, or alteration of existing drainage patterns?	<input type="checkbox"/>	<input type="checkbox"/>
7. Substantial change to existing noise or vibration levels in the vicinity?	<input type="checkbox"/>	<input type="checkbox"/>
8. Site on filled land or slope of 10 percent or more?	<input type="checkbox"/>	<input type="checkbox"/>
9. Use disposal of potentially hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>
10. Substantial change in demand for municipal services (police, fire, water, sewage, etc)?	<input type="checkbox"/>	<input type="checkbox"/>
11. Substantial increase fossil fuel consumption (electricity, oil, natural gas, etc)?	<input type="checkbox"/>	<input type="checkbox"/>
12. Relationship to a larger project or series of projects?	<input type="checkbox"/>	<input type="checkbox"/>

DISCUSS ON FOLLOWING PAGE ALL ITEMS ANSWERED YES (ATTACH ADDITIONAL SHEETS IF NECESSARY)

