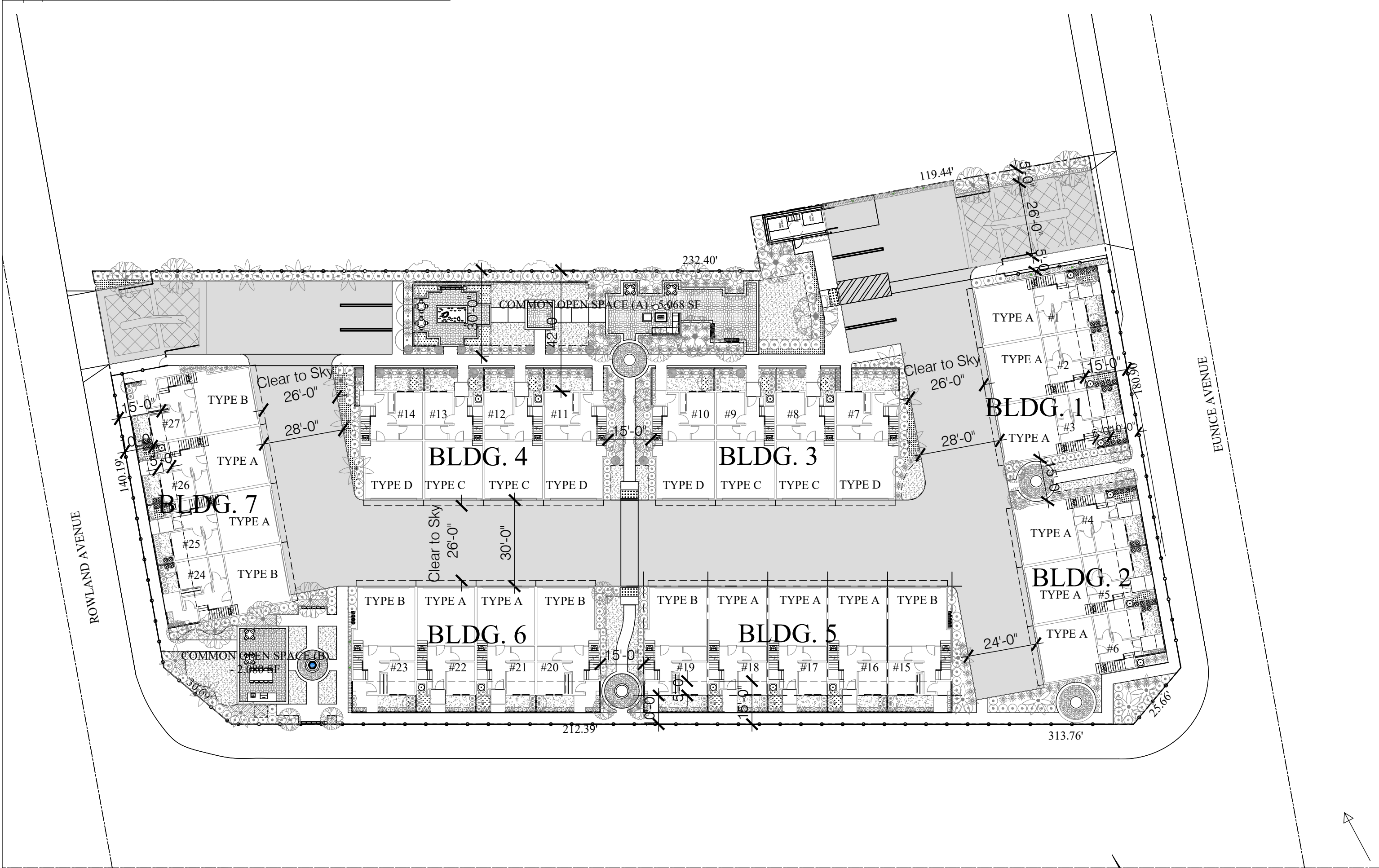
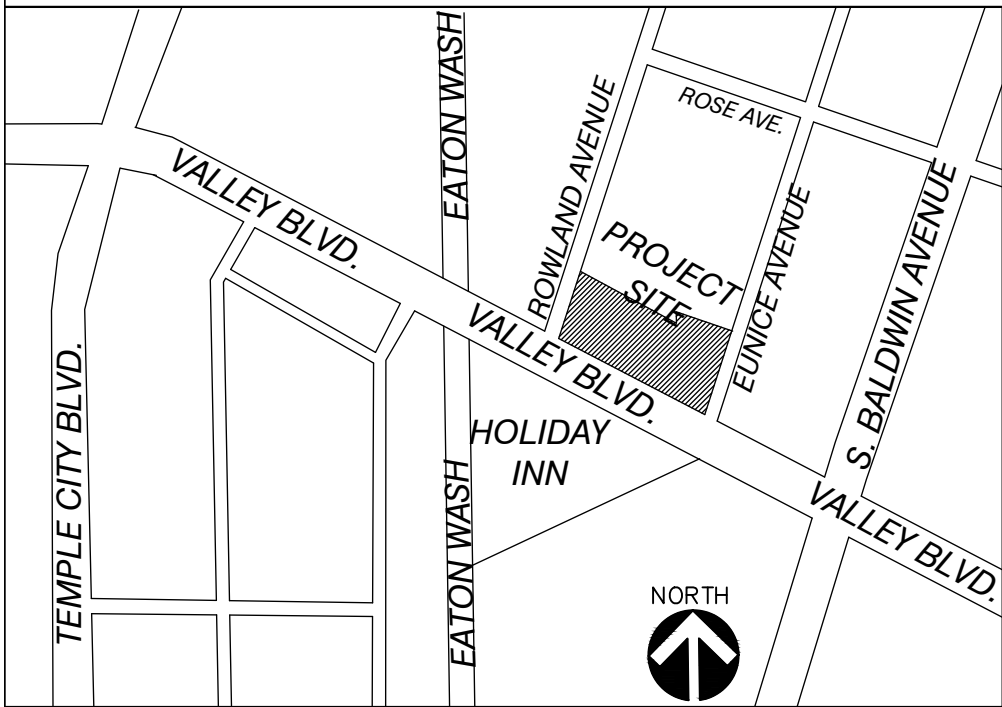


SHEET SCHEDULE :

A000 COVER SHEET
A001 SITE PLAN, PROJECT SUMMARY
70 TOPOGRAPHY/SURVEY MAP
A101 BUILDING 1 & 2, FLOOR PLANS
A102 BUILDING 3 & 4, FLOOR PLANS
A103 BUILDING 5 FLOOR PLANS
A104 BUILDING 6 & 7, FLOOR PLANS
A200 DEVELOPMENT STREETSCAPE
A201 BUILDING 1 & 2 ELEVATIONS, SECTION
A201C BUILDING 1 & 2 COLOR ELEVATIONS
A202 BUILDING 3 & 4 ELEVATIONS, SECTION
A202C BUILDING 3 & 4 COLOR ELEVATIONS
A203 BUILDING 5 ELEVATIONS, SECTION
A203C BUILDING 5 COLOR ELEVATIONS
A204 BUILDING 6 & 7 ELEVATIONS, SECTION
A202C BUILDING 6 & 7 COLOR ELEVATIONS

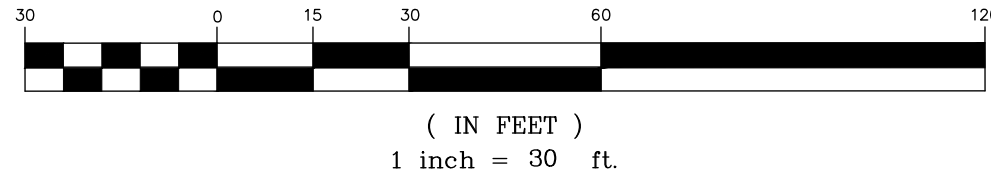
A301 UNIT TYPE -A ENLARGED FLOOR PLANS
A302 UNIT TYPE -B ENLARGED FLOOR PLANS
A303 UNIT TYPE -C ENLARGED FLOOR PLANS
A304 UNIT TYPE -D ENLARGED FLOOR PLANS
L-1 CONCEPTURAL LANDSCAPE PLAN

TOWNHOUSE DEVELOPMENT
LA VALLEY GARDEN
27 DWELLING UNITS
9909-9933 VALLEY BLVD.
EL MONTE CA 91731
APN: 8577-011-013, 014, 015,016



1 SITE PLAN

SCALE : 1"=30'-0"



UNIT FLOOR AREA BREAKDOWN	
BUILDINGS SUMMARY: 7 MULTI-FAMILY TOWHOUSE BUILDINGS	
3 ATTACHED UNITS (3 TYPE A).....	BUILDING 1 -
COVERAGE: 2,344 SF	2-Car GARAGE: 400 SF.....
BUILDING 2 -	1st FLOOR: 320 SF.....
3 ATTACHED UNITS (3 TYPE A).....	2nd FLOOR: 664 SF.....
COVERAGE: 2,344 SF	3rd FLOOR: 628 SF.....
BUILDING 3 -	BALCONY: 36 SF.....
4 ATTACHED UNITS (2 TYPE C, 2 TYPE B).....	6- TYPE B & Br (THREE STORY): 1,730 SF
COVERAGE: 3,244 SF	3-BEDROOM, 3 1/2 BATHROOM
BUILDING 4 -	2-Car GARAGE: 400 SF.....
4 ATTACHED UNITS (2 TYPE C, 2 TYPE B).....	1st FLOOR: 360 SF.....
COVERAGE: 3,244 SF	2nd FLOOR: 706 SF.....
BUILDING 5 -	3rd FLOOR: 664 SF.....
5 ATTACHED UNITS (3 TYPE A, 2 TYPE B).....	BALCONY: 36 SF.....
COVERAGE: 4,034 SF	4- TYPE C & Cr (THREE STORY): 1,692 SF
BUILDING 6 -	3-BEDROOM, 3 1/2 BATHROOM
4 ATTACHED UNITS (2 TYPE A, 2 TYPE B).....	2-Car GARAGE: 400 SF.....
COVERAGE: 3,244 SF	1st FLOOR: 320 SF.....
BUILDING 7 -	2nd FLOOR: 682 SF.....
4 ATTACHED UNITS (2 TYPE A, 2 TYPE B).....	3rd FLOOR: 690 SF.....
COVERAGE: 3,244 SF	BALCONY: 65 SF.....
PROPERTY LOT SIZE:58,905 SF	
BLDG. TOTAL COVERAGE: 21,698 SF (36.84%)	
TOTAL FLOOR AREA: 41,010 SF.	
FAR PROPOSED: 0.6962	

OPEN SPACE SUMMARY:
TABLE 17.40.3
MINIMUM USABLE OPEN SPACE (> 10 UNITS) - 300 SF / UNIT (WITH 60 SF PRIVATE)

TOTAL USABLE OPEN SPACE REQUIRED: 8,100 SF
TOTAL USABLE OPEN SPACE PROPOSED: 12,012 SF

COMMON OPEN SPACE (A) - 5,068 SF
COMMON OPEN SPACE (B) - 2,080 SF
TOTAL PRIVATE USABLE OPEN SPACE=4,864 SF

PRIVATE USABLE OPEN SPACE BREAKDOWN:
UNIT #1 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #2 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #3 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #4 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #5 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #6 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #7 GROUND FLOOR 175 SF + 2ND FL. BALCONY 75 SF = 250 SF
UNIT #8 GROUND FLOOR 160 SF + 2ND FL. BALCONY 65 SF = 225 SF
UNIT #9 GROUND FLOOR 160 SF + 2ND FL. BALCONY 65 SF = 225 SF
UNIT #10 GROUND FLOOR 175 SF + 2ND FL. BALCONY 75 SF = 250 SF
UNIT #11 GROUND FLOOR 175 SF + 2ND FL. BALCONY 75 SF = 250 SF
UNIT #12 GROUND FLOOR 160 SF + 2ND FL. BALCONY 65 SF = 225 SF
UNIT #13 GROUND FLOOR 160 SF + 2ND FL. BALCONY 65 SF = 225 SF
UNIT #14 GROUND FLOOR 175 SF + 2ND FL. BALCONY 75 SF = 250 SF
UNIT #15 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #16 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #17 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #18 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #19 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #20 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #21 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #22 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #23 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #24 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #25 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #26 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF
UNIT #27 GROUND FLOOR 120 SF + 2ND FL. BALCONY 36 SF = 156 SF

PROJECT TEAM	
APPLICANT/DESIGNER: T.J. BUILD CONTACT: JIMMY SHOU-YI LEE 13841 ROSWELL AVENUE, SUITE A CHINO CA 91710 TEL: 951-415-9622 EMAIL: jimmysylee@gmail.com CIVIL ENGINEER / SOIL ENGINEER: CALLAND ENGINEERING 576 E. LAMBERT ROAD, BREA, CA 92821 TEL: 714.671.1050 FAX: 714.671.1090 CONTACT: JACK LEE LANDSCAPE ARCHITECT: JYC Landscape Architecture TEL: 951.317.6825 EAMIL: jennyhye@yahoo.com CONTACT: JENNY HYE	PROPERTY OWNER: LA VALLEY GARDEN PLAZA LP. ZHONG FANG 227 W VALLEY BLVD 288B SAN GABRIEL CA 91776 CONTACT: MICHELLE WU EMAIL: thlusa@gmail.com PHONE: 626-8666-888
PROJECT SUMMARY	
PROJECT ADDRESS: 9909-9933 VALLEY BLVD., EL MONTE CA 91731 APN: 8577-011-013, -014, -015,-016 LOT SIZE: 58,905 SF (1.35 ACRE) EXISTING USE: VACANT ZONING: C-4 PROPOSED USE: R-4 MULTI-FAMILY TOWNHOUSES DEVELOPMENT STANDARD: CHAPTER 17.40 TABLE 17.40.1 - PERMITTED USES: MULTIPLE-FAMILY, THREE(3) OR MORE ATTACHED OR DETACHED DWELLINGS ON A LOT PROJECT PROPOSED: 27 DWELLING UNITS (TOWNHOUSE STYLE) MULTI-FAMILY	
ZONING SUMMARY	
RESIDENTIAL DEVELOPMENT STANDARDS - COMMERCIAL ZONING DISTRICTS:	
REQUIRED:	PROPOSED:
MAXIMUM HEIGHT - 3 STORIES & 40'	3 STORIES & 37'-9"
MINIMUM YARD SETBACKS: 1st STORY FRONT- 10' UPPER STORY FRONT - ADDITIONAL 5' 1st STORY STREET SIDE - 10' UPPER STORY STREET SIDE - ADDITIONAL 5' 1st STORY INTERIOR SIDE - 5' UPPER STORY INTERIOR SIDE - 8' REAR SETBACK ADJACENT R-1 - 20'	1st STORY FRONT- 10' UPPER STORY FRONT - 15' 1st STORY STREET SIDE - 10' UPPER STORY STREET SIDE - 15' 1st STORY INTERIOR SIDE - N/A UPPER STORY INTERIOR SIDE - N/A REAR SETBACK ADJACENT R-1 - 42'
MINIMUM DENSITY 1 UNITS/2,200 SF (26.7 U) MAXIMUM DENSITY 1 UNITS/1,450 SF (40.6 U)	1 UNITS / 2,182 SF (27 U)
MAXIMUM FAR (C-3) : 0.85	0.6962
MINIMUM USABLE OPEN SPACE: 300 SF / UNIT WITH 60 SF MIN.)PRIVATE	TOTAL: 8,850 SF
TOTAL REQUIRED: 8,100 SF WITH MIN. 60 SF PRIVATE OPEN SPACE	
MAXIMUM LOT COVERAGE : 45%	36.84%
MAXIMUM LENGTH OF BUILDING WALL: 80' WITH AN OFFSET OF 4' FOR A 10' LENGTH	COMPLIED
MIN. DISTANCE BETWEEN BUILDINGS: 15'	15'
MIN. DWELLING SIZE 2-BEDROOM: 800 SF 3-BEDROOM: 1,000 SF	PROPOSED MIN. DWELLING SIZE 2-BEDROOM: 1,612 SF 3-BEDROOM: 1,692 SF
REQUIRED PARKING ANALYSIS: 13 2-BEDROOMS UNIT X 2 =26 14 3-BEDROOMS UNIT X 2 1/2 =35 TOTAL REQUIRED PARKING SPACES=61	PARKING SPACES PROPOSED: GARAGE= 54 OPEN GUEST PARKING= 7 TOTAL PROPOSED PARKING SPACES= 61

T.J.BUILD
DESIGN

13841 ROSWELL AVE. # A
CHINO, CA 91710
T: 951.415.9622
F: 909.590.8804
jimmysylee@gmail.com

PROJECT NAME:
LA VALLEY GARDEN
TOWNHOUSES DEVELOPMENT
9909-9933 Valley Blvd.
El Monte, CA 91731

REVISIONS:

PROJECT SUMMARY

DATE
PRINTED: 01-31-2025

DATE:
01-31-2025

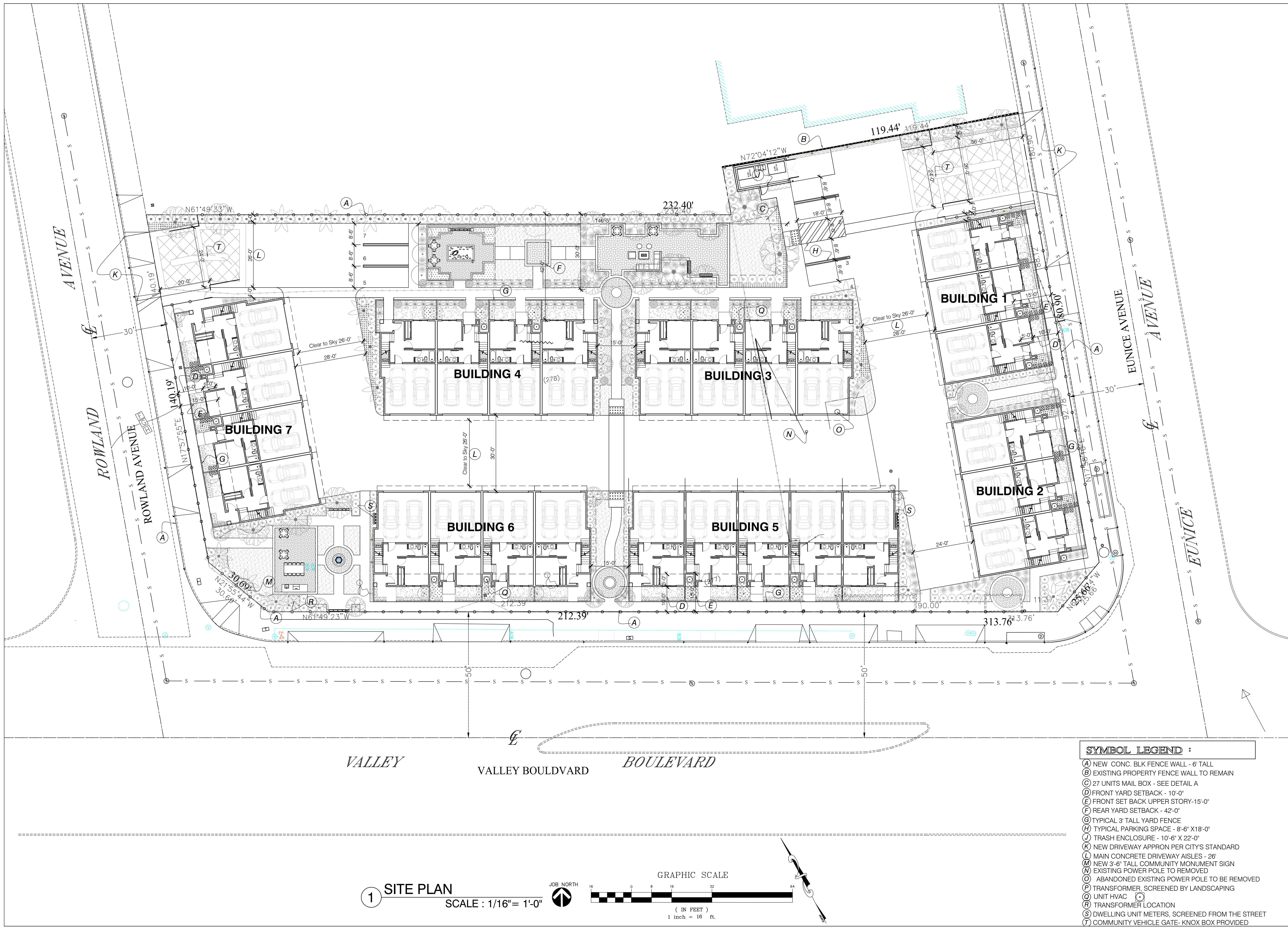
SCALE:

DRAWN:
J.L.

JOB NO.
2501

SHEET

A000
OF SHEETS



TOPOGRAPHIC MAP

ABBREVIATIONS/LEGEND:

CATV	: CABLE T.V. PULLBOX
C/B	: CATCH BASIN
CBW/RW	: CONC. BLOCK/RETAINING WALL
C&G	: CURB AND GUTTER
CF	: CHAIN LINK FENCE
D/W	: DRIVEWAY
D/A	: DRIVEWAY APPROACH
EX	: EXISTING
FF	: FINISH FLOOR
FS	: FINISHED SURFACE
FL	: FLOW LINE
GM	: GAS METER
IF	: IRON FENCE
HP	: HIGH POINT
PP	: POWER POLE
P/L	: PROPERTY LINE
RW	: RETAINING WALL
SCO	: SEWER CLEAN OUT
S/W	: SIDEWALK
S/D	: STORM DRAIN
TC	: TOP OF CURB
W/M	: WATER METER
WF	: WOODEN FENCE
W/W	: WALKWAY

LEGEND:

	: STORM DRAIN MANHOLE
	: SEWER MANHOLE
	: WATER VALVE
	: FDC / FIRE DEPT. CONNECTION
	: FIRE HYDRANT
	: EDISION PULL BOX
	: STREET LIGHT PULL BOX
	: TRAFFIC SIGNAL PULL BOX
	: UTILITY PULL VOX
	: TV CABLE PULL BOX
	: HIGH VOLTAGE PULL BOX
	: TELEPHONE PULL BOX
	: SEPTIC TANK
	: EXISTING ELEVATION 532.00'
	: EXISTING CONTOUR LINE
	: WATER LINE
	: SEWER LINE
	: STREET LIGHT
	: WF / WOOD FENCE OR IF / IRON FENCE
	: CF / CHAIN LINK FENCE
	: EXISTING TREE
	: CONC. BLOCK WALL/ RETAINING WALL
	: WOOD POST
	: IRON POST
	: DRAIN HOLE
	: VENT

EASEMENT NOTES

- [A] 5' WIDE EASEMENT OF GUARANTEE AND TRUST COMPANY, HOLDER OF AN EASEMENT FOR POLES, CONDUITS, SEWER AND PIPES PURPOSES BY DEED RECORDED DEC. 20, 1926, IN BOOK 6183, PAGE 22, BY DEED RECORDED MARCH 30, 1927, IN BOOK 4779, PAGE 178, BY DEED RECORDED MAY 12, 1928 IN BOOK 7163, PAGE 49, AND BY DEED RECORDED AUGUST 31, 1928, IN BOOK 7265, PAGE 80, ALL OF O.R.
- [B] 5' WIDE EASEMENT OF TITLE GUARANTEE AND TRUST COMPANY, HOLDER OF AN EASEMENT FOR POLES, CONDUITS, SEWER AND PIPES PURPOSES BY DEED RECORDED NOV. 21, 1928, AS DOC. NO. 156593 OF TORRENS.
- [C] 5' WIDE EASEMENT OF SOUTHERN CALIFORNIA EDISON COMPANY, HOLDER OF AN EASEMENT FOR POLE, CABLES, WIRES AND ANCHORS PURPOSES BY DEED RECORDED FEB. 14, 1939, IN BOOK 16309, PAGE 307, OF O.R.
- [D] 3' WIDE EASEMENT OF PACIFIC TELEPHONE AND TELEGRAPH COMPANY, HOLDER OF AN EASEMENT FOR UNDERGROUND COMMUNICATION STRUCTURES PURPOSES BY DEED RECORDED APRIL 30, 1974, AS DOC. NO. 1223, OF O.R.
- [E] 10' WIDE EASEMENT OF SOUTHERN CALIFORNIA EDISON COMPANY, HOLDER OF AN EASEMENT FOR POLE, CABLES, WIRES AND ANCHORS PURPOSES BY DEED RECORDED AUG. 30, 1955, IN BOOK 48816, PAGE 184, OF O.R.
- [F] 30' WIDE EASEMENT OF SOUTHERN COUNTIES GAS COMPANY OF CALIFORNIA, HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES PURPOSES BY DEED RECORDED ON FEB. 19, 1937 AS DOC. NO. 2261F, TORRENS, OF OFFICIAL RECORDS.
- [G] 30' WIDE EASEMENT OF COUNTY OF LOS ANGELES, HOLDER OF AN EASEMENT FOR PUBLIC ROAD PURPOSES BY DEED RECORDED ON FEB. 17, 1941 AS DOC. NO. 3842J, TORRENS, OF OFFICIAL RECORDS.
- [H] 30' WIDE EASEMENT OF COUNTY OF LOS ANGELES, HOLDER OF AN EASEMENT FOR PUBLIC ROAD PURPOSES BY DEED RECORDED ON JAN. 16, 1942 AS DOC. NO. 840K, TORRENS, OF OFFICIAL RECORDS.

LEGAL DESCRIPTION:

PARCEL 1

A PORTION OF LOT 4 OF F.W. GIBSON'S TRACT, IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 39, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 8577-011-013
PROPERTY SIZE: 36,441.83 S.F. (GROSS) / 35,641.83 S.F. (NET)

PARCEL 2

LOTS 1, 2, AND 3 OF TRACT NO. 7007, IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 85, PAGES 30 AND 31, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 8577-011-014
PROPERTY SIZE: 9,989.15 S.F. (GROSS) / 9,539.17 S.F. (NET)

PARCEL 3

LOT 4 OF TRACT NO. 7007, IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 85, PAGES 30 AND 31, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 8577-011-015
PROPERTY SIZE: 3,285.16 S.F. (GROSS) / 3,128.21 S.F. (NET)

PARCEL 4

LOT 5 OF TRACT NO. 7007, IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 85, PAGES 30 AND 31, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 8577-011-016
PROPERTY SIZE: 9,236.08 S.F. (GROSS) / 8,552.31 S.F. (NET)

SURVEYOR'S NOTES:

- ALL INFORMATION SHOWN ON THE DRAWINGS IS GIVEN AS THE BEST PRESENT KNOWLEDGE AND PERFORMED WITHIN GENERALLY ACCEPTED ENGINEERING PRACTICE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE.
- ESTABLISHMENT OF CONTOUR: CONTOURING IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS, AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS, ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT SUCH PRECISE CONDITIONS, WHICH OBVIOUSLY ARE NOT POSSIBLE. THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.
- THE BEARINGS/DIMENSIONS OF THE MAP IS PREPARED BASED ON THE RECORD DATA.
- THE SURVEY IS PREPARED FOR ARCHITECTURAL/LANDSCAPING PURPOSE.
- EASEMENTS ARE PLOTTED PER PRELIMINARY TITLE REPORT ORDER NO. 997-00093965-MM7, DATED 06-26-2018 AND PRELIMINARY TITLE REPORT FILE NO. 091845613, DATED 03-08-2021.

BENCHMARK:

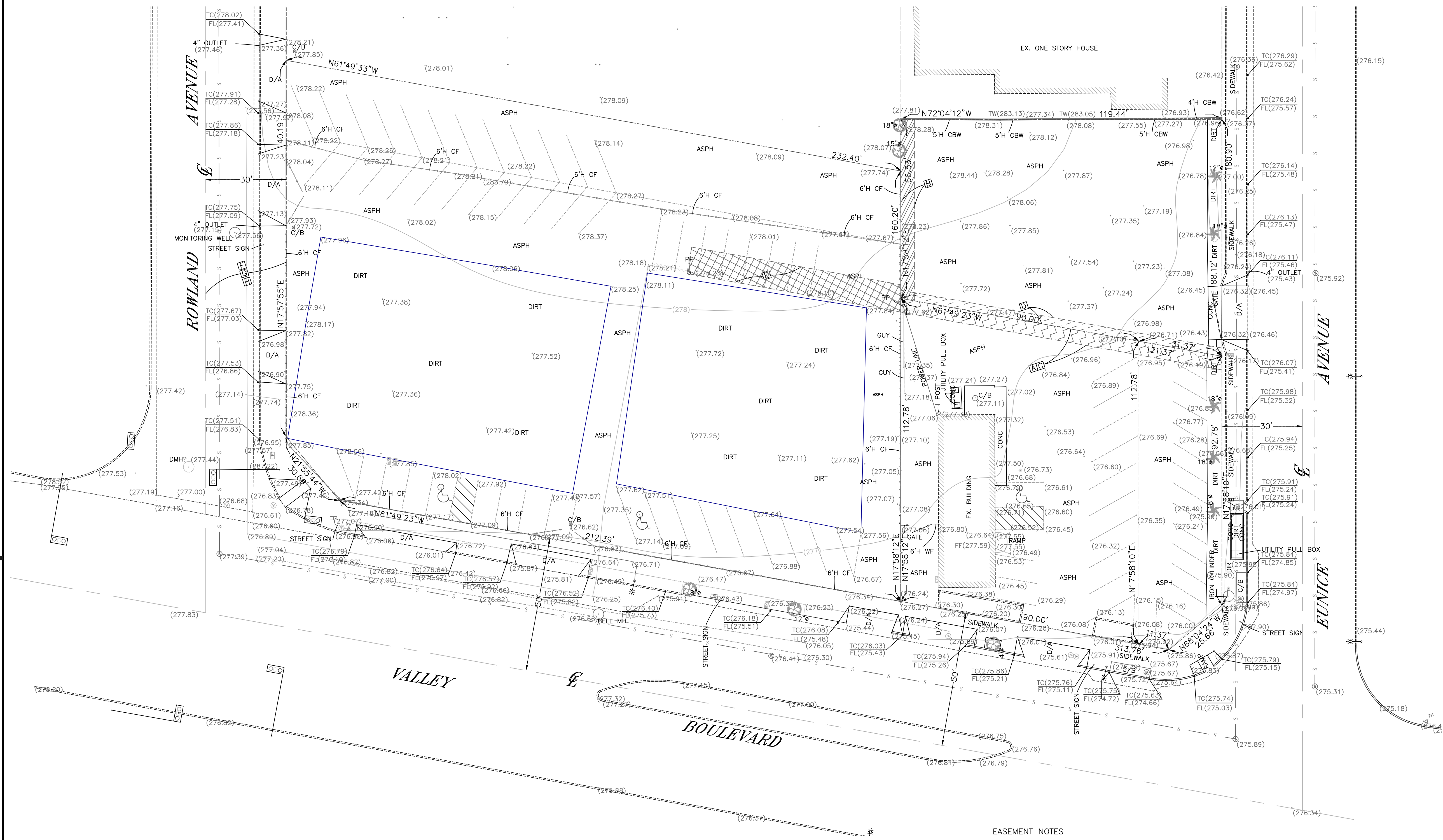
COUNTY BENCHMARK NO. MG2529

L&T IN N CB 1FT E/O BOR @ NW COR
VALLEY BLVD & ROWLAND AVE.

ELEVATION: 278.524' (NAVD 1988)

BASIS OF BEARING:

CENTERLINE OF EUNICE AVE. N17°58'10"E
PER PARCEL MAP NO. 443, P.M.B. 211-76



CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS

576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

RELEASED

REVISIONS

PROJECT LOCATION:

9909, 9933 VALLEY BLVD
EL MONTE, CA 91731

DRAWN:

JW

CHECKED:

JY

DATE:

12-09-2015/

JOB NO.:

15-087-010/

SCALE:

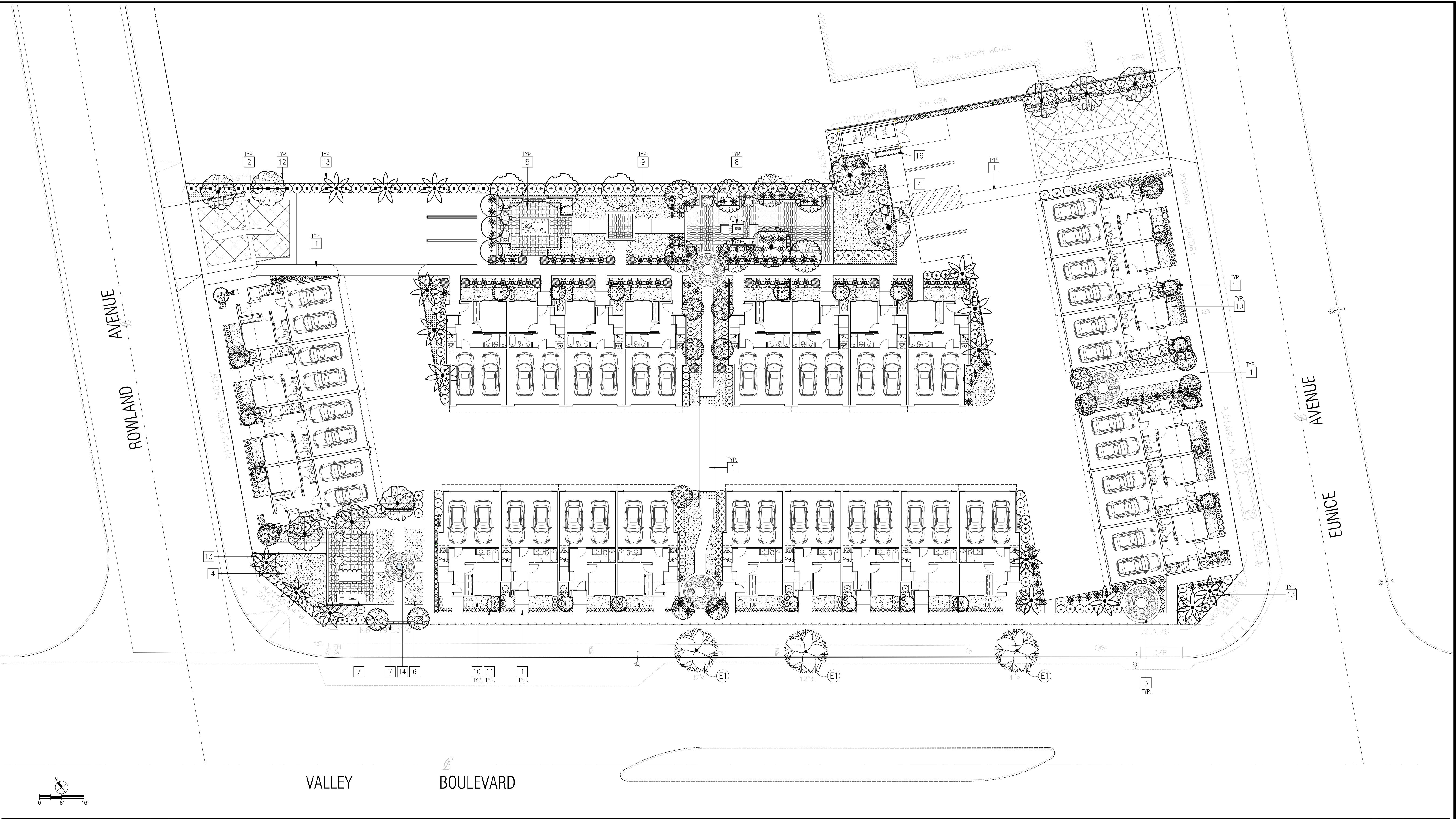
1"=20'

FILE NAME:

Topo-9909 Valley El Monte

T-1

SHEET 1 OF 1 SHT.



01 LANDSCAPE PLAN1/16" = 1'-0"

HARDSCAPE LEGEND

KEY NOTE	DESCRIPTION
1	4' WIDE CONCRETE WALKWAY PER ARCH.
2	ENTRY DRIVEWAY W/ DECORATIVE CONC.
3	COURTYARD ENTRY W/ DECORATIVE PAYER
4	KID'S PLAY AREA
5	COMMUNITY GARDEN / HERB GARDEN/ LEARNING CENTER
6	FORMAL GARDEN / CENTRAL GARDEN
7	BBQ & OUTDOOR KITCHEN / OUTDOOR SEATING
8	COURTYARD W/ FIRE PIT & OUTDOOR LOUNGE SEATING

PLANTING LEGEND

TREE	SYMBOL	QNTY	SIZE	BOTANICAL NAME/COMMON NAME	PLANT FACTOR
T1		8	24" BOX	OLEA EUROPAEA 'SWAN HILL' FRUIT LESS OLIVE	LOW .3
T2		23	15 GAL.	MAGNOLIA 'LITTLE GEM' LITTLE GEM MAGNOLIA OR EQ.	MOD. 5
T3		7	24" BOX	LAGERSTROEMIA I. 'MUSKOGEE' GRAPE MYRTLE (STREET TREE)	MOD. 5
T4		15	15 GAL.	GINKGO BILOBA 'GOLDSPIRE' COLUMNAR GINKGO	MOD. 5
T5		11	24" BOX	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	LOW .3
T6		3	24" BOX	QUERCUS ILEX HOLLY OAK(CA. NATIVE)	LOW .3
T7		3	15 GAL.	TRISTANIA CONFERTA BRISBANE BOX TREE	MOD. 5
T8		3	15 GAL.	CERCIS OCCIDENTALIS WESTERN REDBUD	LOW .3

SHRUB

S1		122	5 GAL	LAVANDULA A. 'TWICKEL PURPLE' TWICKEL PURPLE ENGLISH LAVENDER	LOW .3
S2		107	5 GAL	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	LOW .3
S3		33	5 GAL	PRUNUS CAROLINIANA 'BRIGHT N TIGHT' CAROLINA LAUREL	LOW .3
S4		132	5 GAL	SALVIA GREGII 'FORMAN'S RED' AUTUMN SAGE	LOW .3
S5		55	5 GAL	LAVANDULA A. 'TWICKEL PURPLE' TWICKEL PURPLE ENGLISH LAVENDER	LOW .3
S6		84	1 GAL	SENECIO VITALIS 'SERPENTS' BLUE CHALK STICKS	LOW .3
S7		164	1 GAL	LIMONIUM PEREZII SEA LAVENDER	LOW .3

EXISTING SYCAMORE STREET TREE TO REMAIN

E1		3			
----	--	---	--	--	--

GROUNDCOVER/ VINE

GC1		TRIANGULAR SPACING	1 GAL 3' O.C.	ROSEMARINUS OFFICINALIS 'HUNTINGTON CARPET'	LOW .3
GC2		TRIANGULAR SPACING	1 GAL 3' O.C.	LANTANA MONTEVIDENSIS 'ALBA' WHITE TRAILING LANTANA	LOW .3
GC3		TRIANGULAR SPACING		HERB GARDEN	MOD. 5
VI			15 GAL	DOLICHANDRA UNGUIS-CATI CAT'S CLAW VINE	LOW .3

REVISIONS

CONCEPT	02-12-25

JYC

LANDSCAPE ARCHITECTURE

PHONE: (951)317-6825
Email: jennyhye@yahoo.com

REGISTERED LANDSCAPE ARCHITECT
JENNIFER Y. HYE
No. 25075
Expiry Date: 12/31/2025
State of California

CONCEPTUAL LANDSCAPE PLAN

LA VALLEY GARDEN
TOWN HOUSES DEVELOPMENT
9099-9933 VALLEY BLVD.
EL MONTE, CA 91731

PROJECT NAME

DATE 02-15-25

SCALE

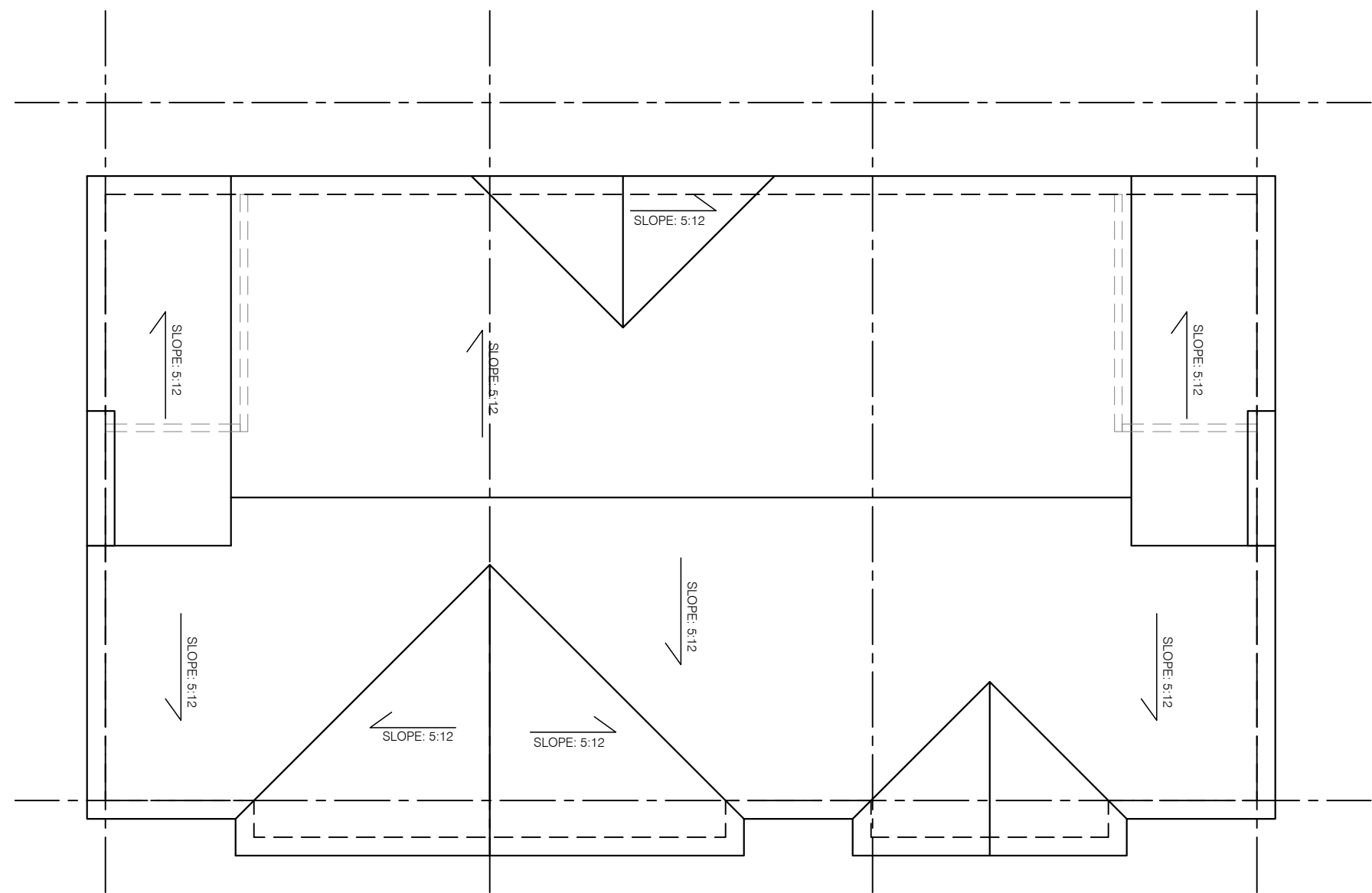
DRAWN

JOB 220206

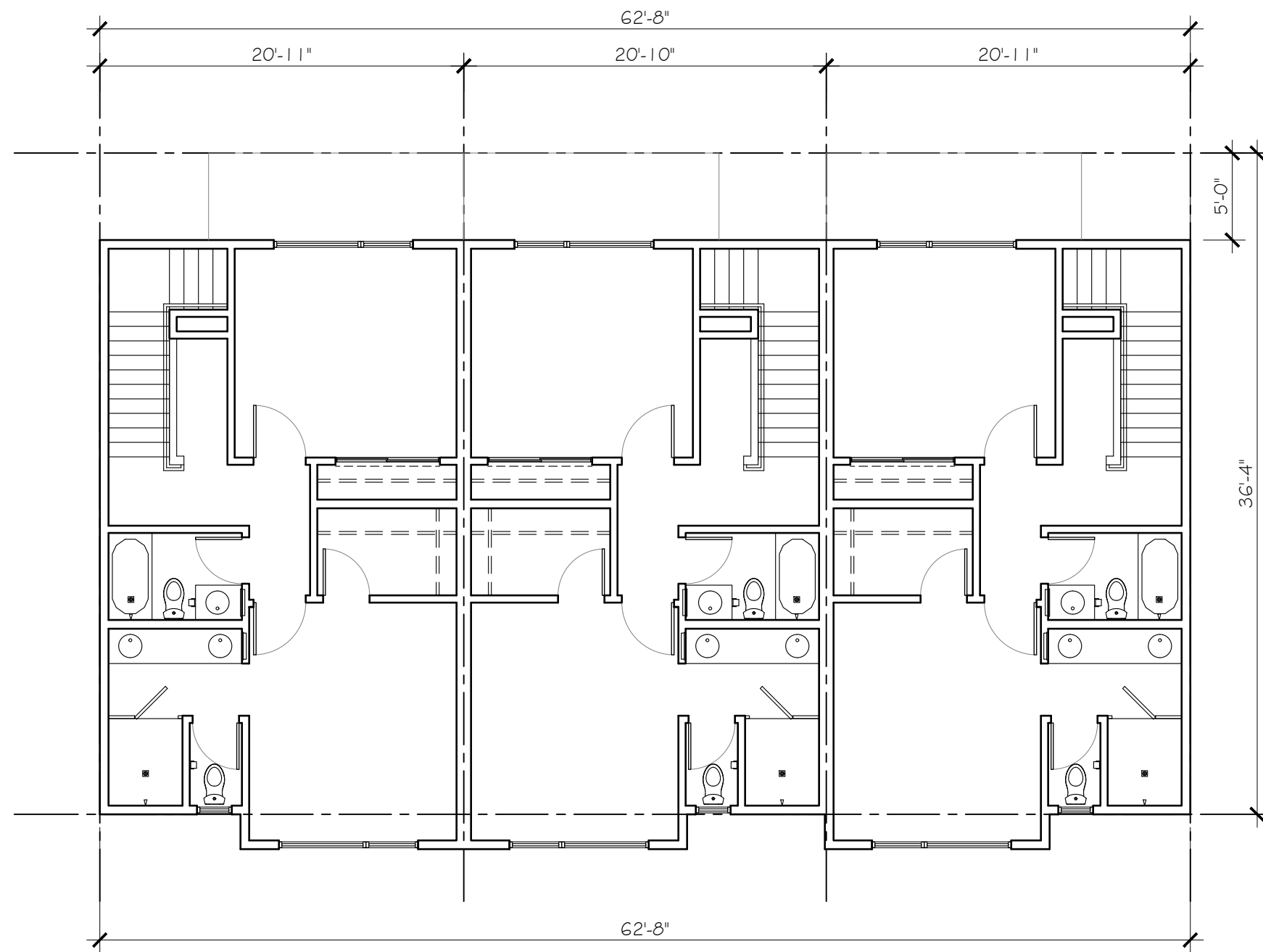
SHEET

L-1

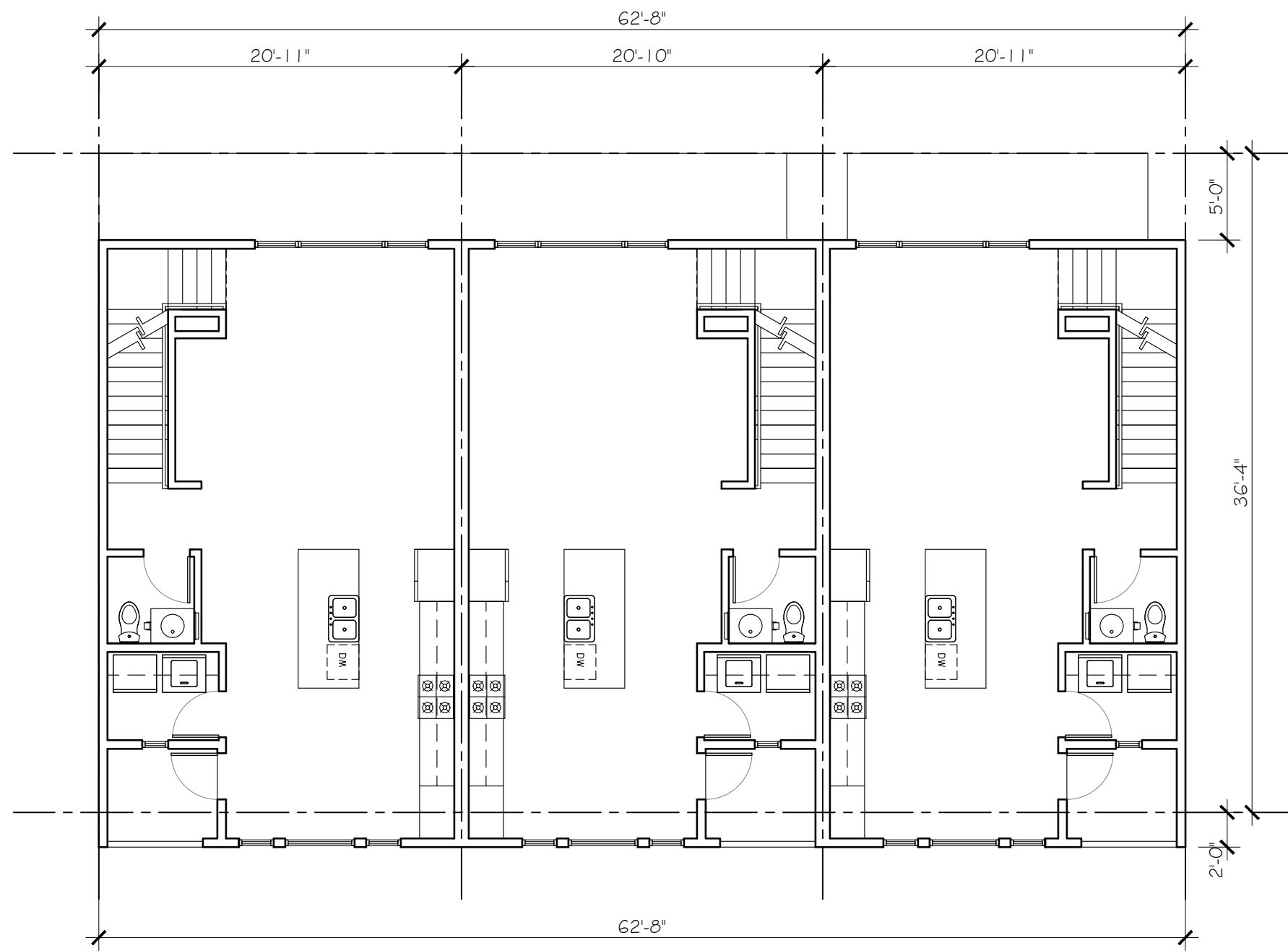
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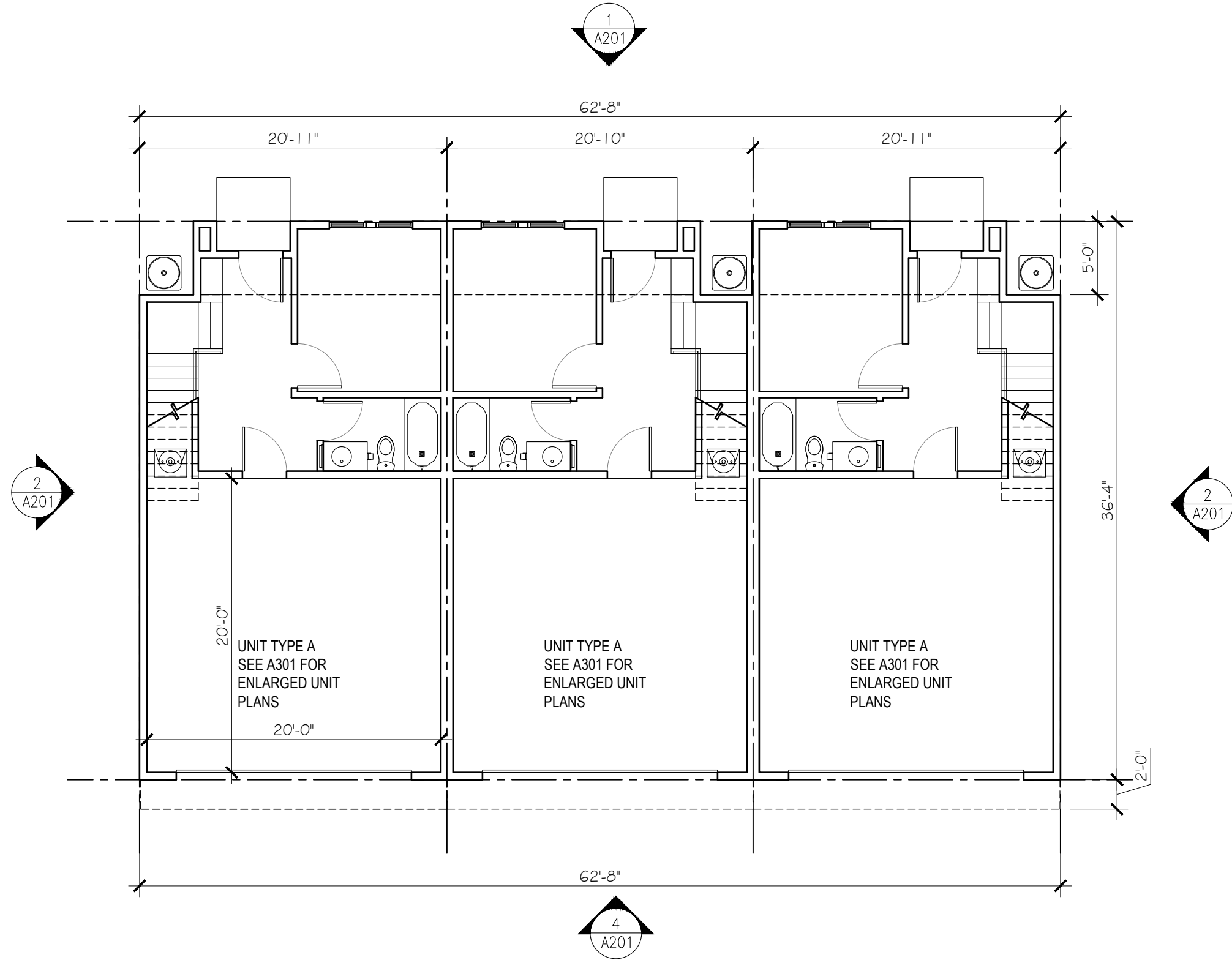
4 ROOF PLAN
SCALE : 1/8"=1'-0"



3 THIRD FLOOR - LEVEL 3@ +_20'
SCALE : 1/8"=1'-0"



2 SECOND FLOOR - LEVEL 2 @ +_10'
SCALE : 1/8"=1'-0"



1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/8"=1'-0"

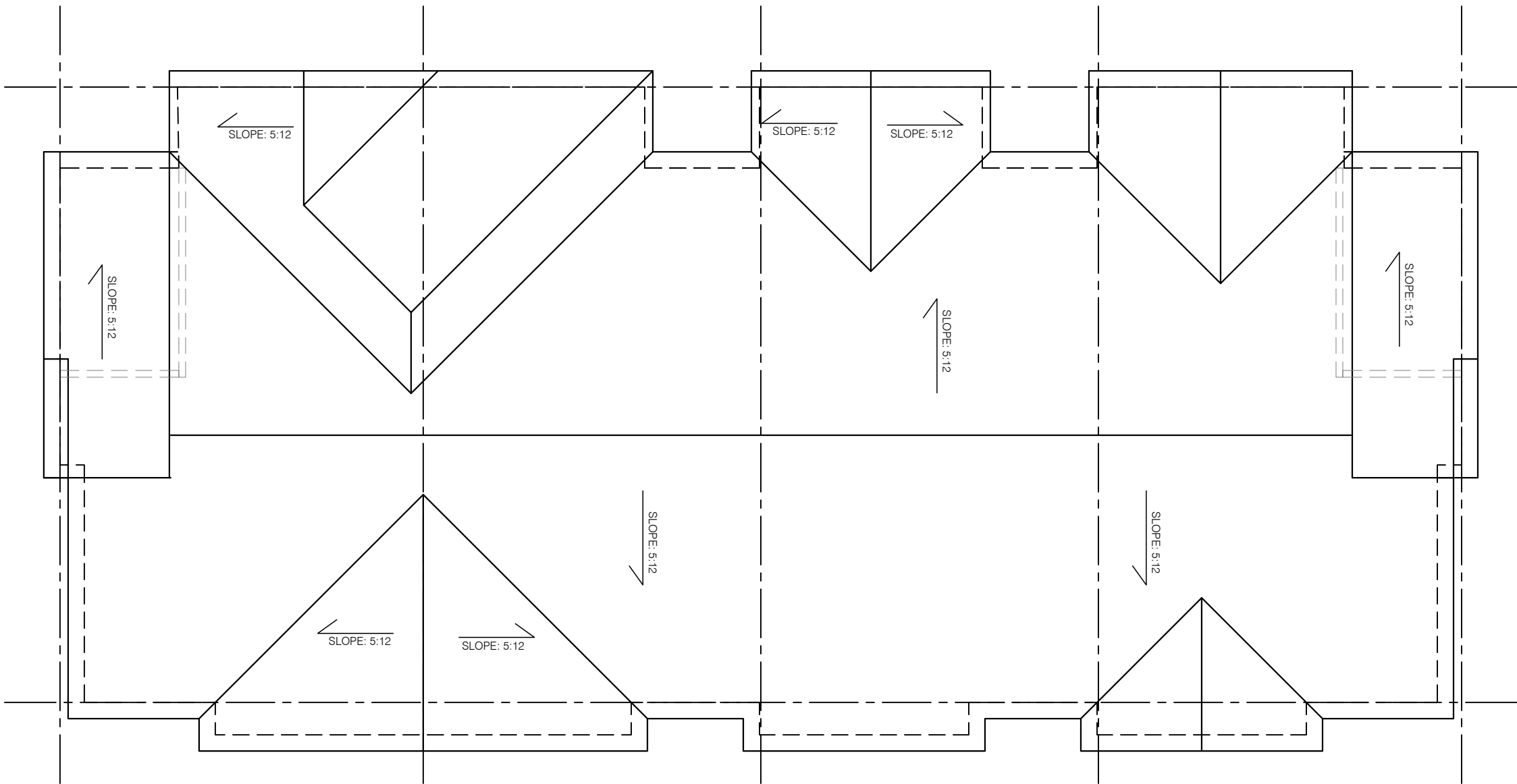
BUILDING 1 & 2
BUILDING COVERAGE: 2,344 SF

REVISIONS:

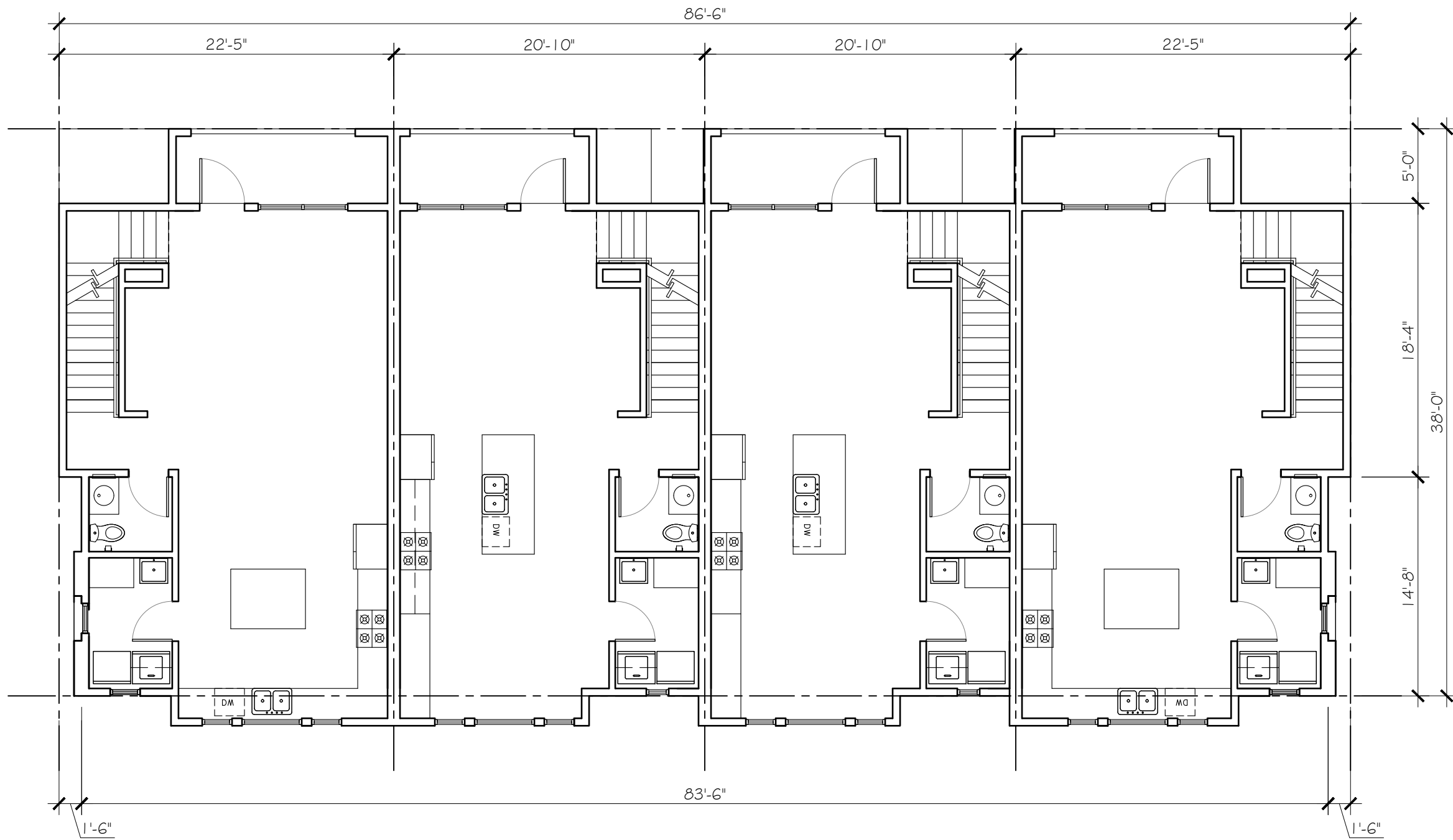
REVISIONS:

DATE PRINTED:	01-31-2025
DATE:	01-31-2025
SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	

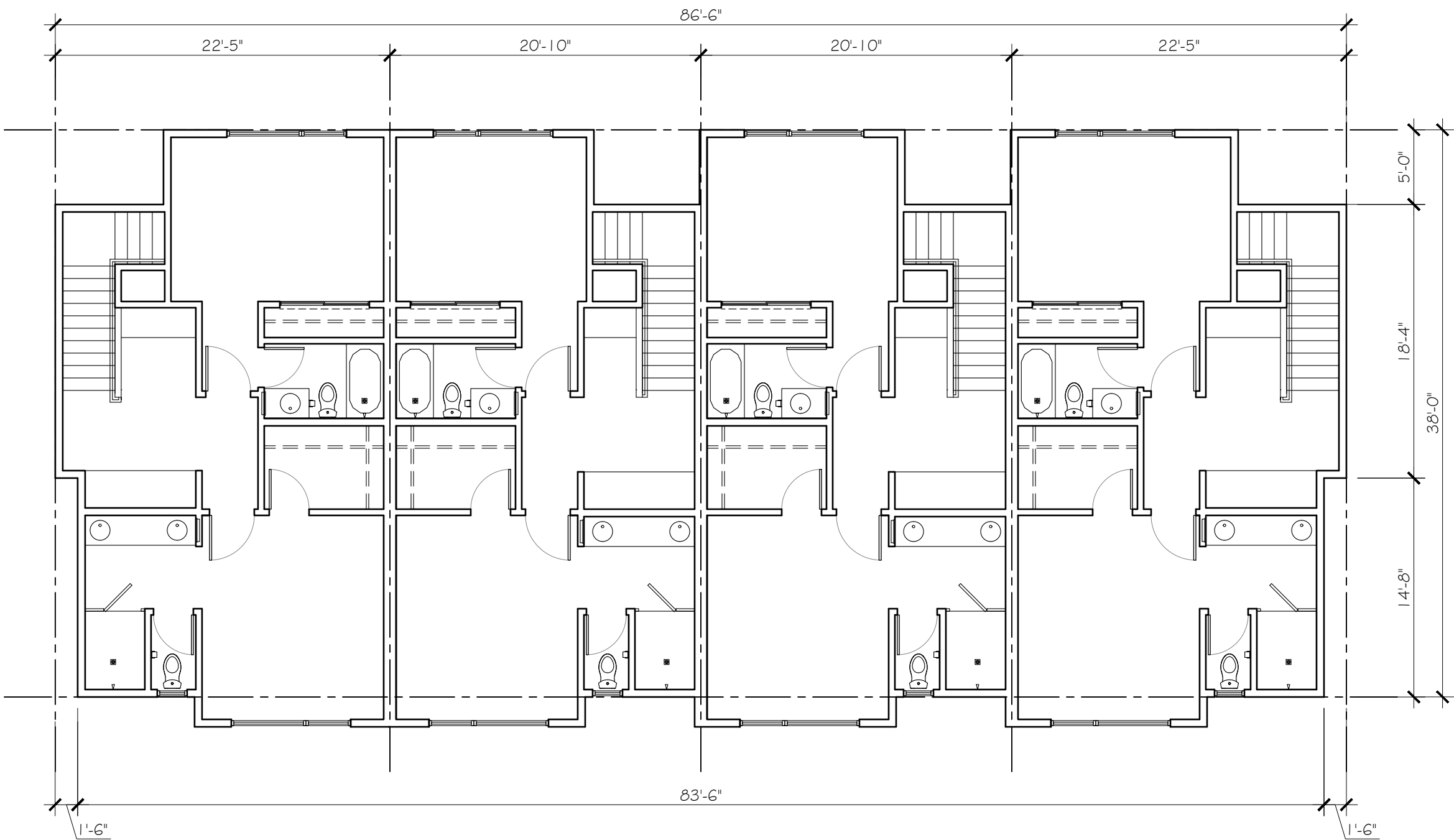
BUILDING 3 & 4
BUILDING COVERAGE: 3,244 SF



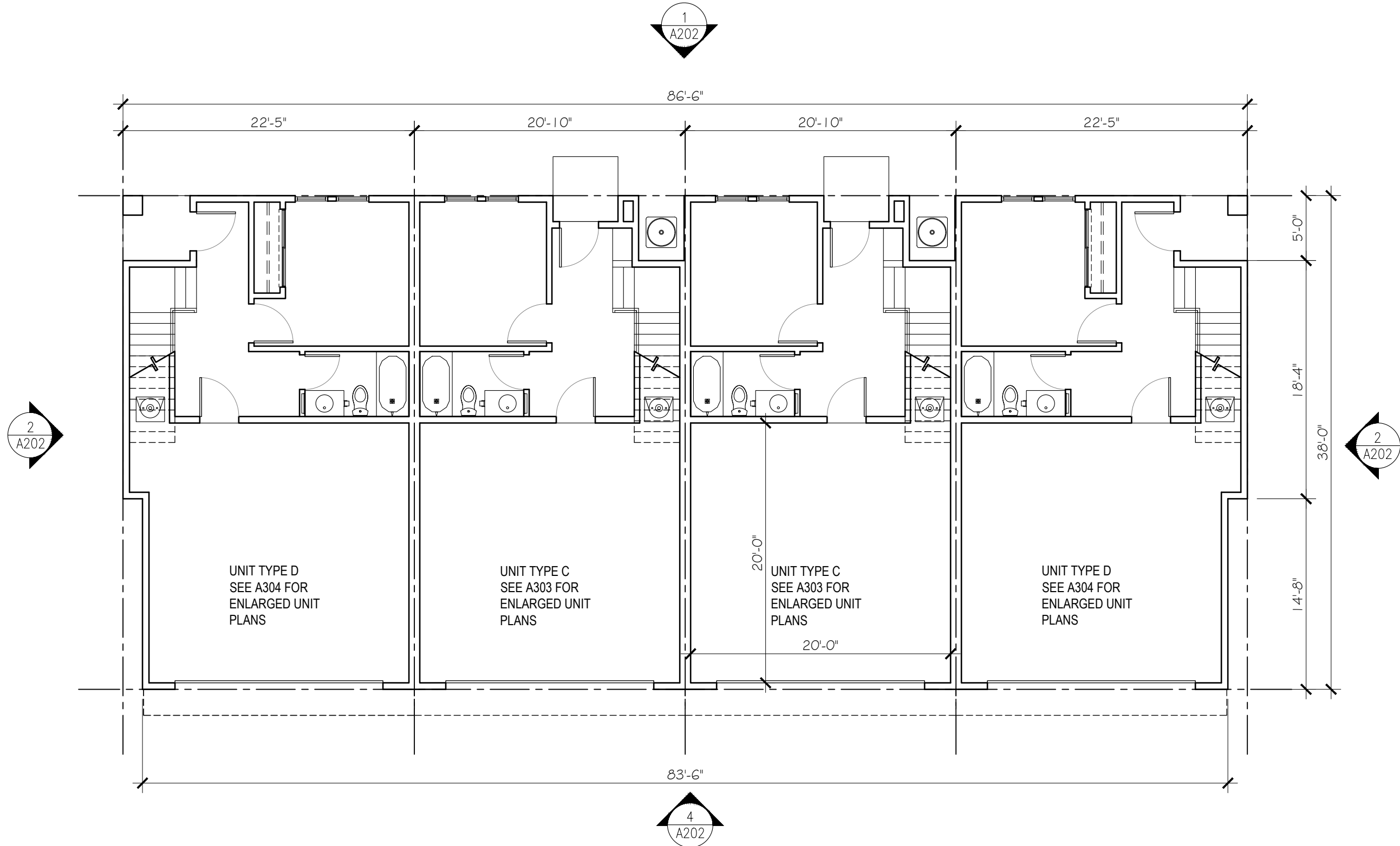
4 ROOF PLAN
SCALE : 1/8"=1'-0"



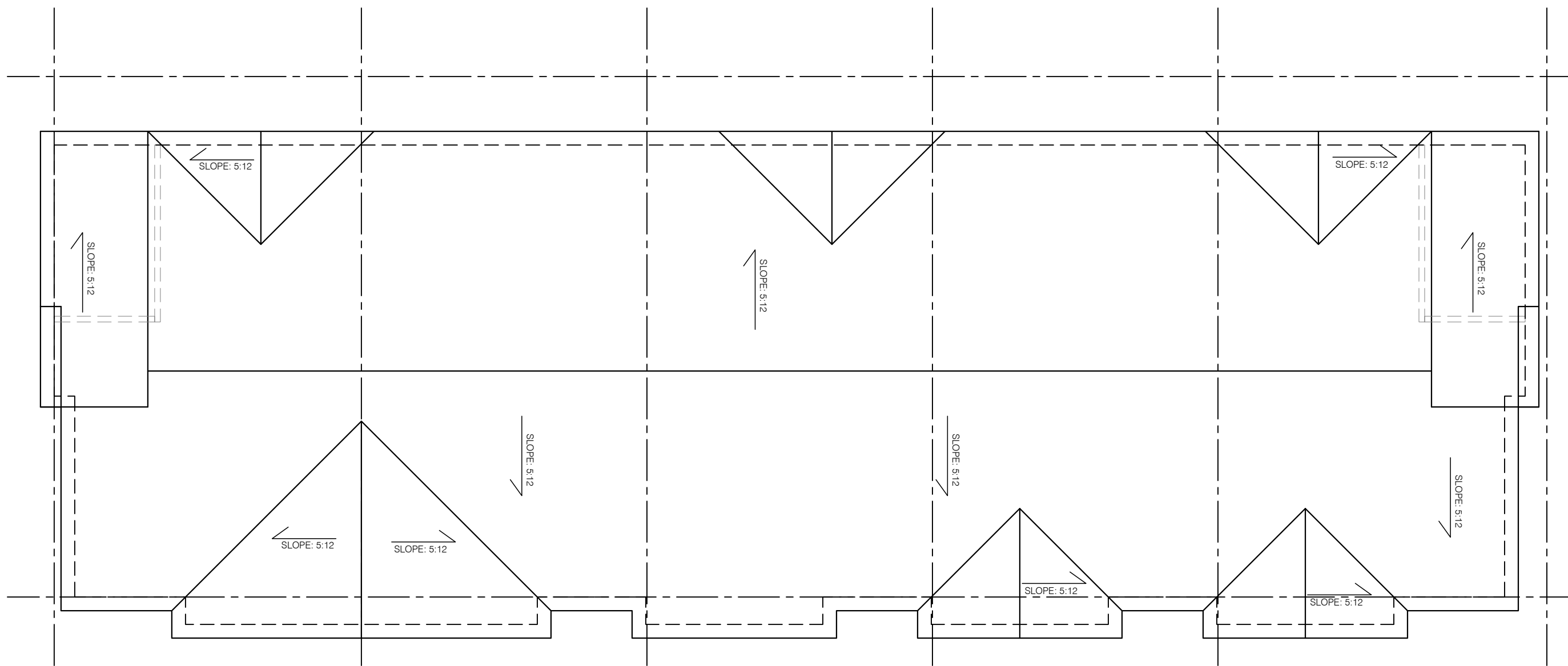
2 SECOND FLOOR - LEVEL 2 @ +_10'
SCALE : 1/8"=1'-0"



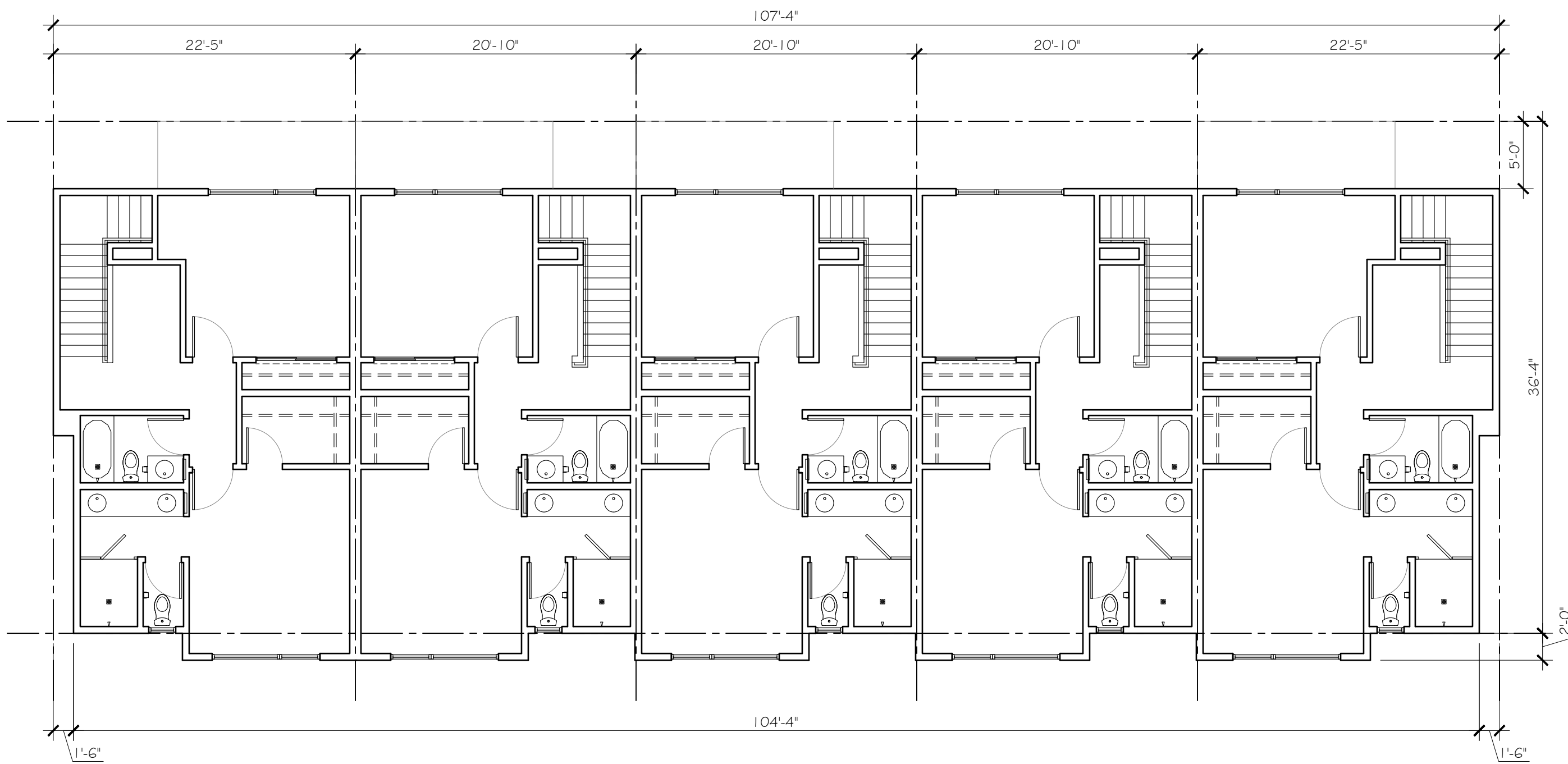
3 THIRD FLOOR - LEVEL 3@ +_20'
SCALE : 1/8"=1'-0"



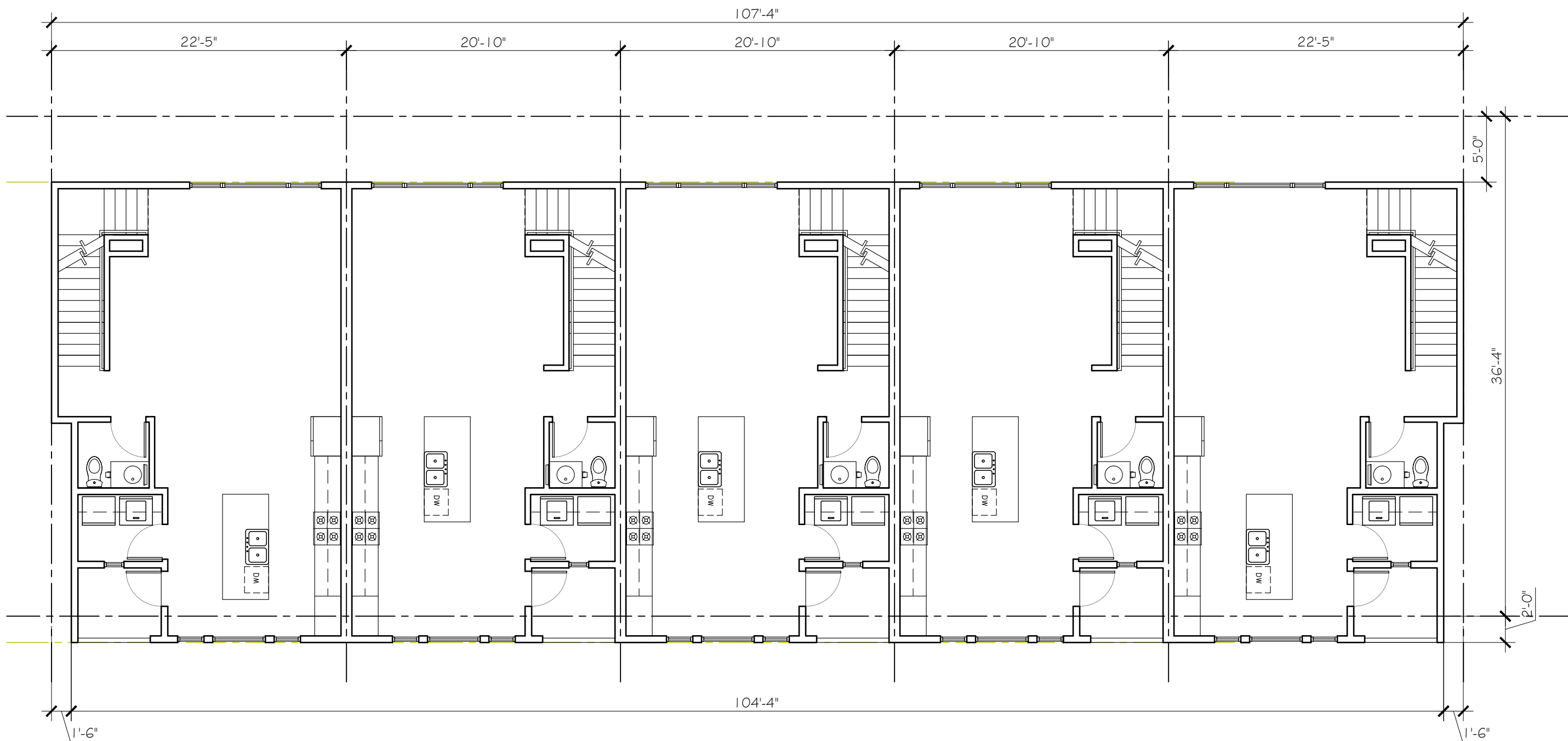
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SCALE : 1/8"=1'-0"



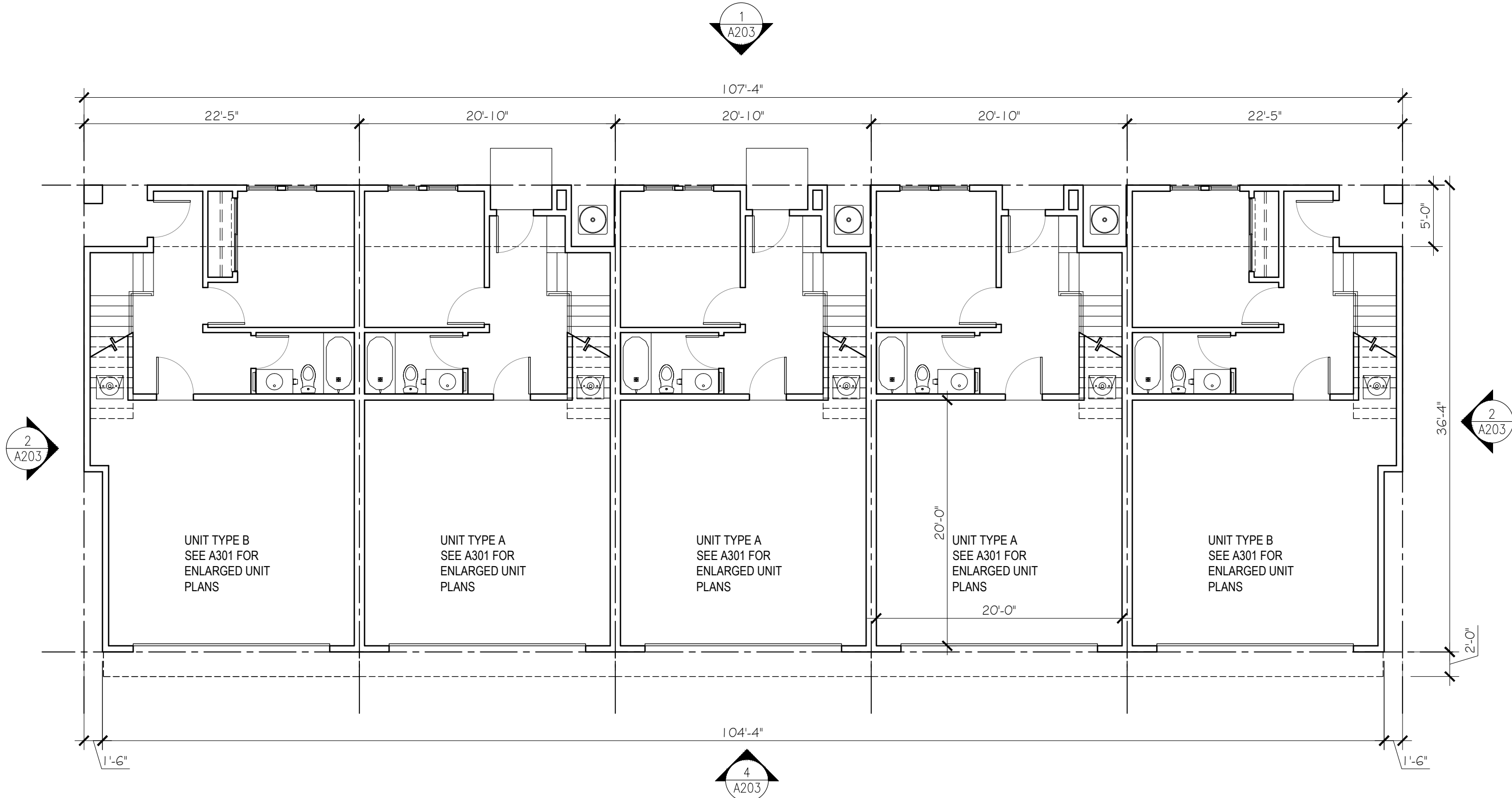
4 ROOF PLAN
SCALE : 1/8"=1'-0"



3 THIRD FLOOR - LEVEL 3@ +_20'
SCALE : 1/8"=1'-0"



2 SECOND FLOOR - LEVEL 2 @ +_10'
SCALE : 1/8"=1'-0"

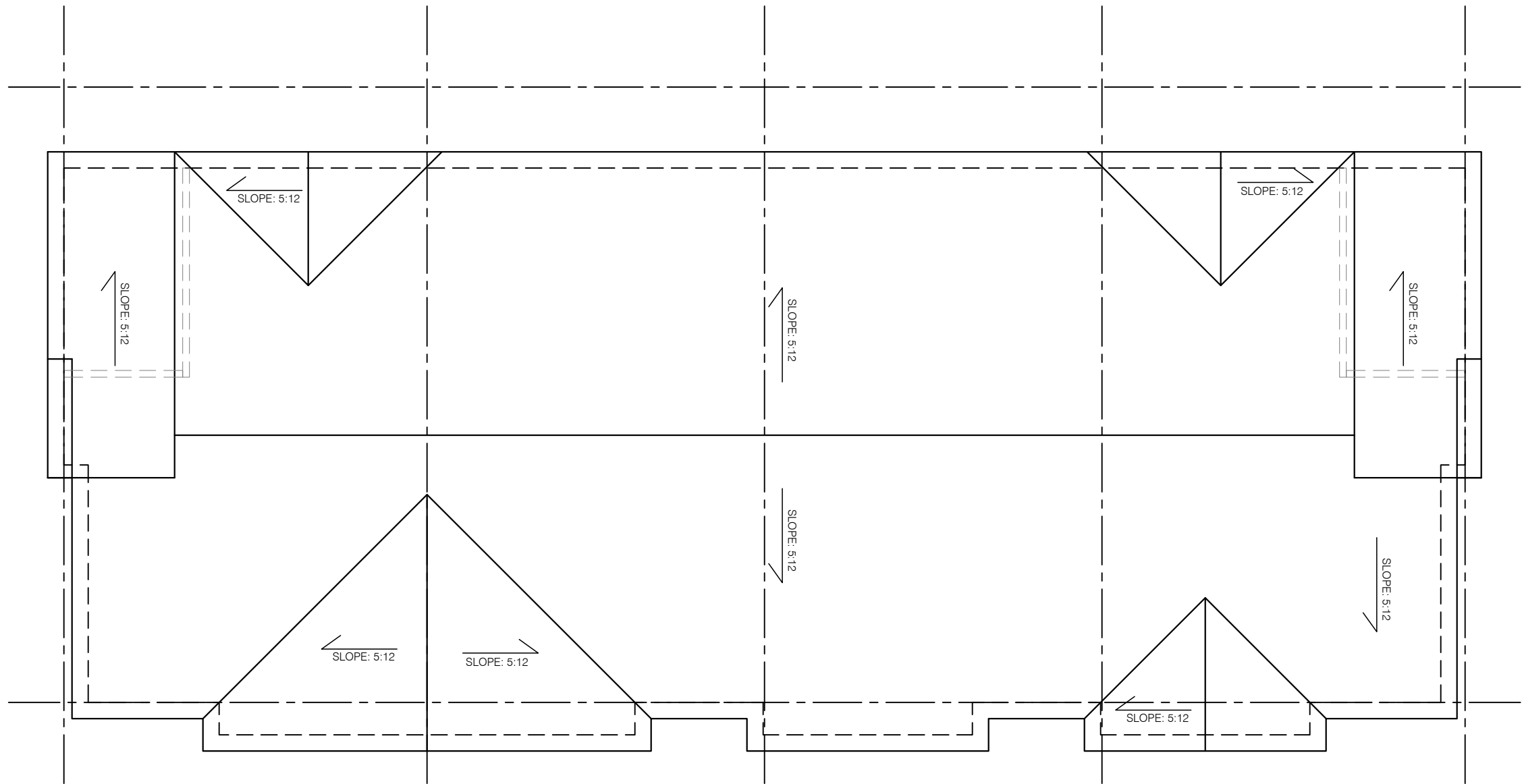


1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/8"=1'-0"

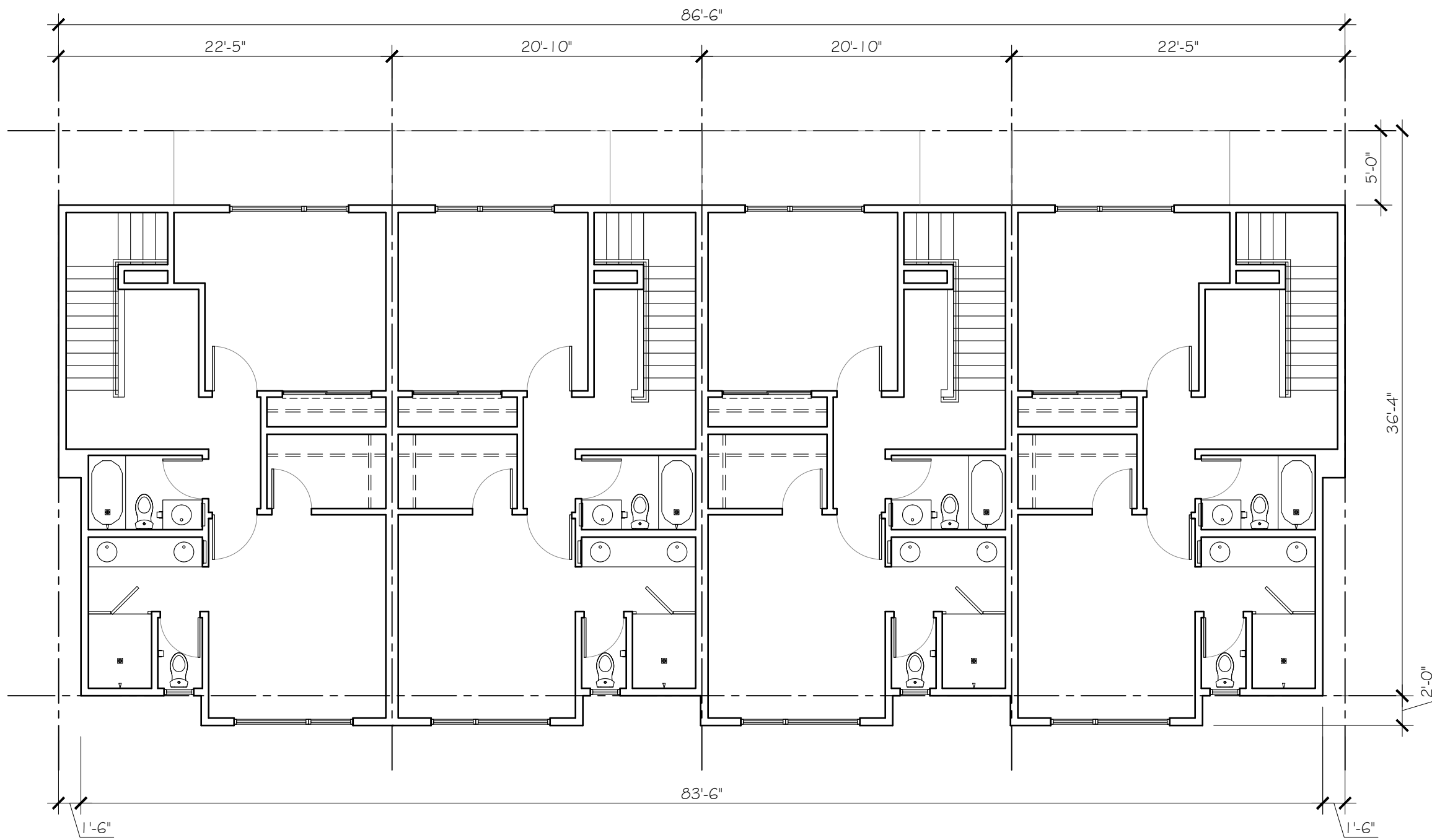
BUILDING 5
BUILDING COVERAGE: 4,034 SF

REVISIONS:

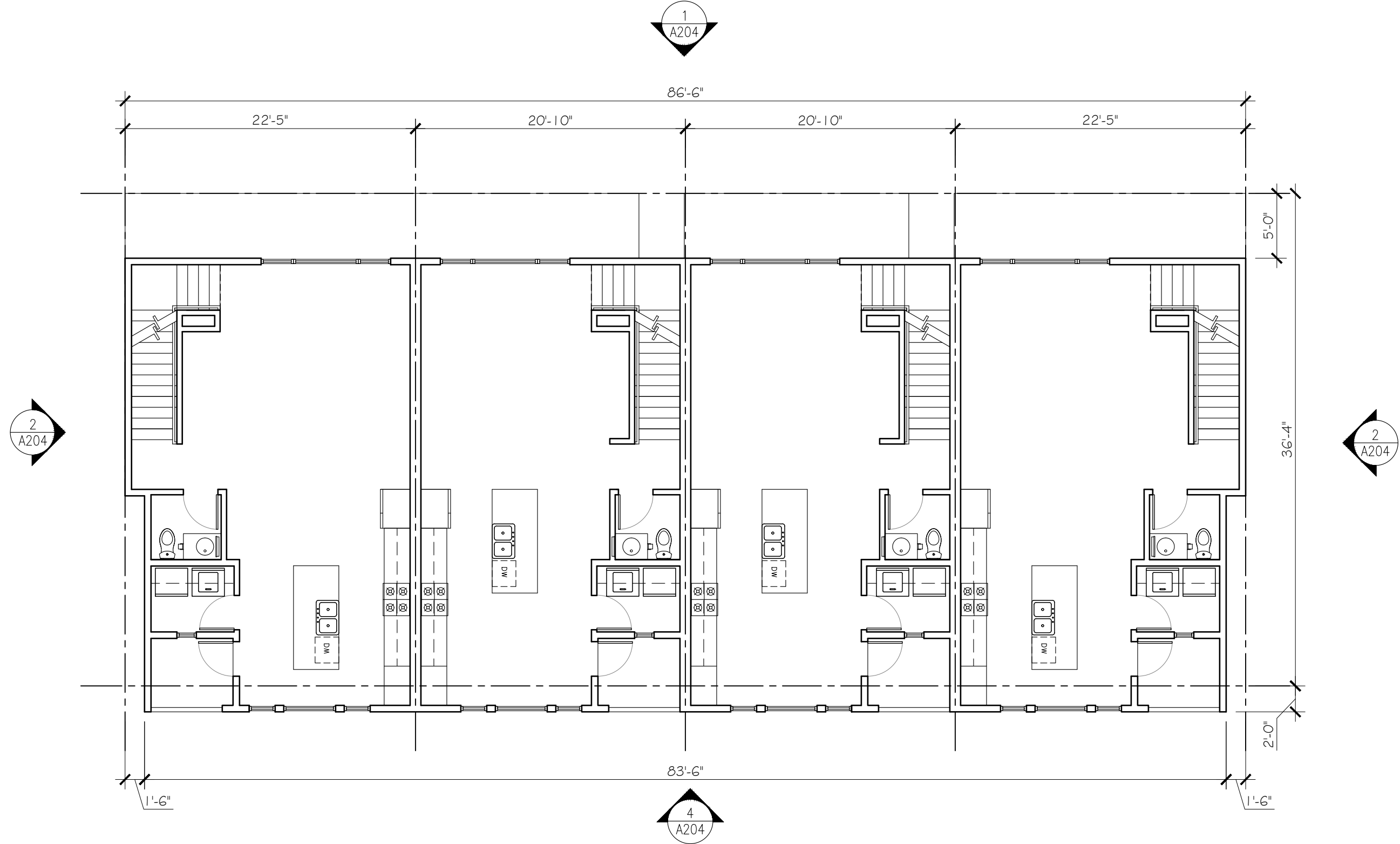
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DATE:	01-31-2025
SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	



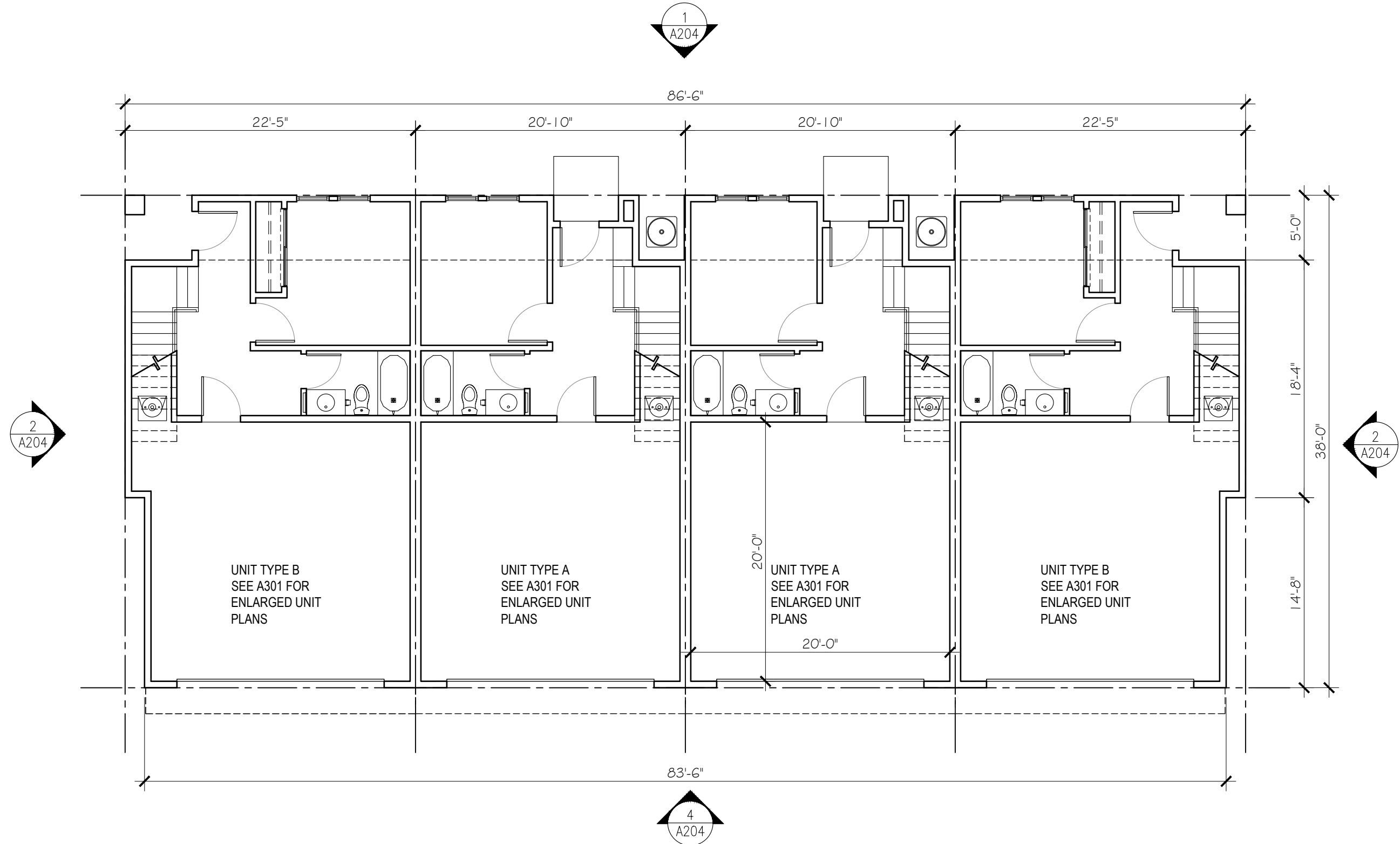
4 ROOF PLAN
SCALE : 1/8"=1'-0"



3 THIRD FLOOR - LEVEL 3@ +_20'
SCALE : 1/8"=1'-0"



2 SECOND FLOOR - LEVEL 2 @ +_10'
SCALE : 1/8"=1'-0"



1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/8"=1'-0"

BUILDING 6 & 7
BUILDING COVERAGE: 3,244 SF



1 STREETSCAPE ON VALLEY BLVD.
SCALE : 1/16"=1'-0"



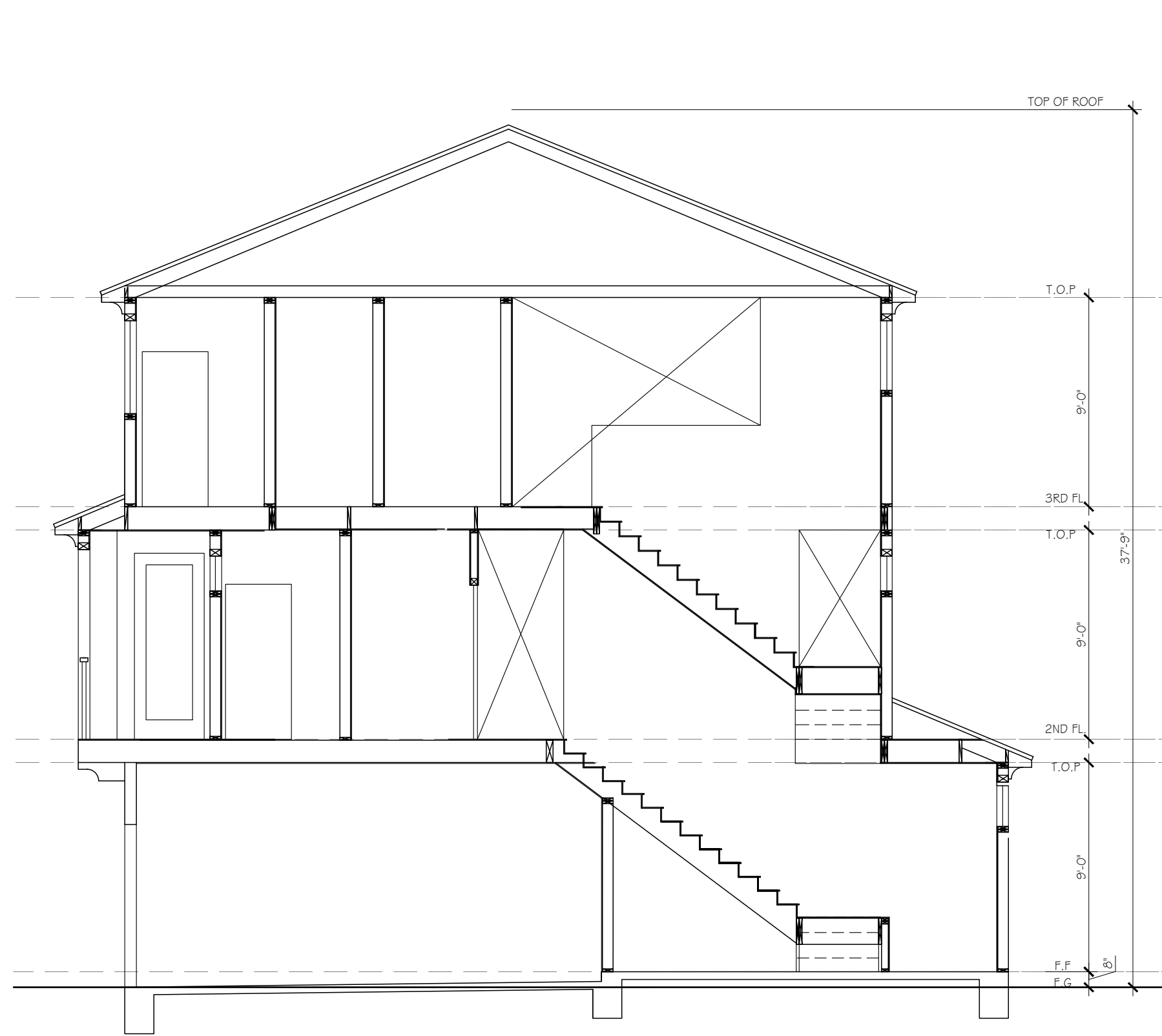
3 STREETSCAPE ON ROWLAND AVENUE
SCALE : 1/16"=1'-0"



2 STREETSCAPE ON EUNICE AVENUE
SCALE : 1/16"=1'-0"

REVISIONS:

DATE PRINTED:	01-31-2025
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3 BUILDING CROSS SECTION
SCALE : 3/16"=1'-0"

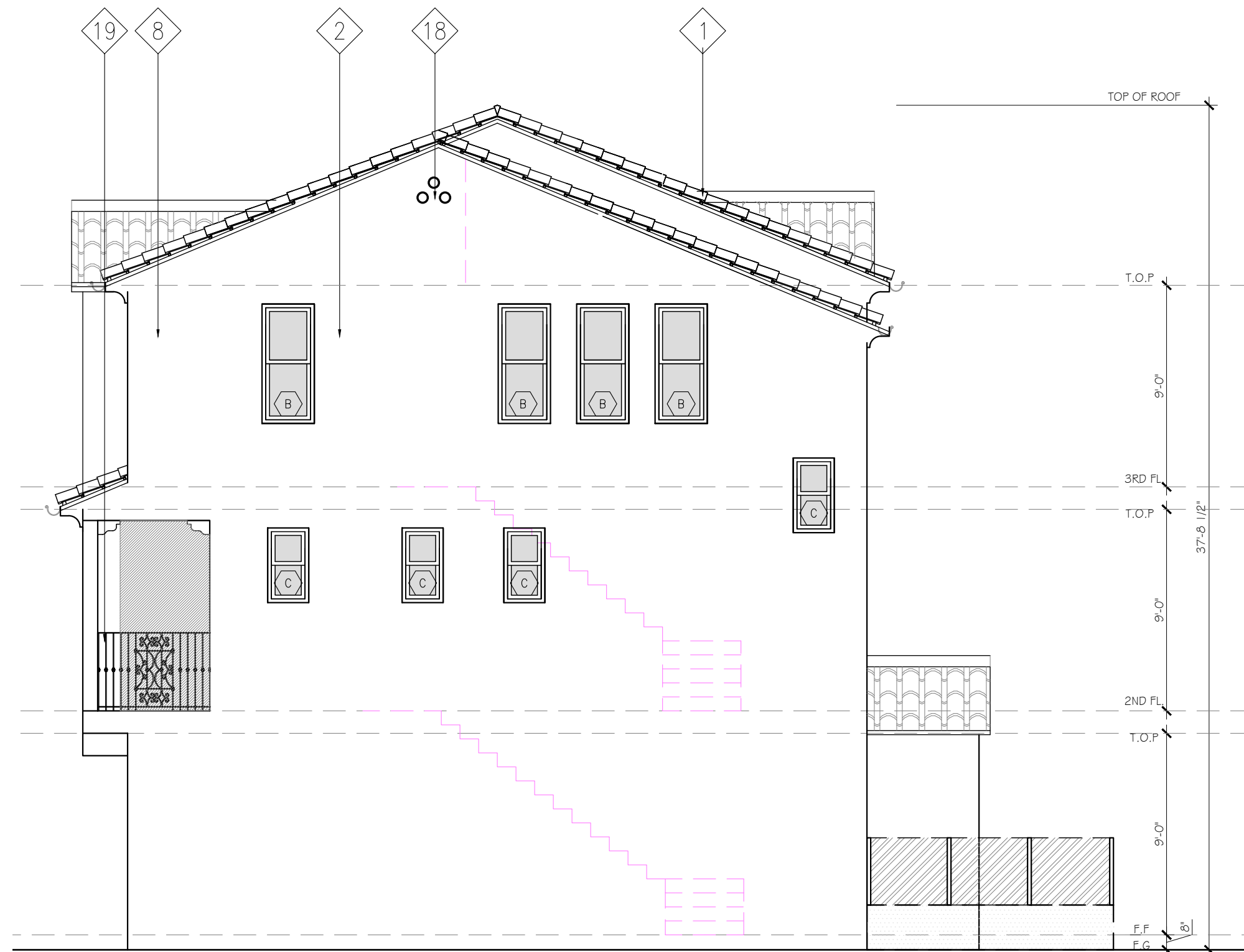


1 BUILDING FRONT ELEVATION
SCALE : 3/16"=1'-0"

MATERIAL LEGEND		
1. CONCRETE TILE ROOF* EAGLE® CAPISTRANO STYLE, Hues of Burnt Orange, Brown Flashed PRODUCT: 3124 HILO SUNSET* (ICC # ESR-1900 (ICBO EP-6034P) ROOFING MATERIAL TO BE CLASS "A" (Fire Code 4710.1.2)	7. DOWNSPROUT-METAL, COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL	13. EXTERIOR DECORATIVE LIGHTING SEA GULL 89062BL-46
2. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA SANDSTONE X-86 (BASE 200) FINE FINISH.	8. Milgard Tuscany Series-VINYL WINDOW CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR : TAUPE	15. DECORATIVE SPANISH STYLE TILE - 6.25" X 6.25" Talavera Tile
3. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA TIERRA 272L-(31) FINE FINISH.	9. Milgard Tuscany Series-VINYL FRANCE DOOR CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR: TAUPE	16. DECORATIVE WOOD CORBELS - OIL PAINTED DARK BROWN
4. RAIN GUTTER-COLOR MATCHES FRAZEE PAINT 8745A KAYAK BROWN	10. UNIT ENTRANCE DOOR-- SPANISH STYLE, FINISHED WITH DARK BROWN STAIN- COLOR MATCHES FRAZEE PAINT 8305D JERICHO BROWN	17. CAST STONE - PRECAST GFRC MOLDING COLOR MATCHES LA HABRA- SADDLEBACK
5. WROUGHT IRON BALCONY RAIL- PAINT BLACK	11. Milgard Tuscany Series- VINYL FIXED WINDOW W/ CLEAR GLASS, Recessed 2 inches (TYP.) EXTERIOR COLOR: TAUPE	18. SPANISH STYLE CLAY ATTIC GABLE VENT TUBE -SUNCOAST STONE, INC. - TERRACOTTA COLOR
6. DECORATIVE WINDOW WOOD TRIM-COLOR MATCHES FRAZEE PAINT 8350D-JERICHO BROWN	12. GARAGE DOOR-REMOTE CONTROL ROLL UP- WAYNE DALTON, 7004 BALI : PAINTED COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL	19. ROUGHT IRON BAR - OILE PAINTED BLACK
		20. UNIT PATIO FENCE WALL - TOTAL 5' TALL-SEE DETAIL A 3' TALL CLEAR GLASS PANEL ON 2' STUCCO WALL



4 BUILDING REAR ELEVATION
SCALE : 3/16"=1'-0"



2 BUILDING FRONT/SIDE ELEVATION
SCALE : 3/16"=1'-0"



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PROJECT NAME:
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REVISIONS:

**BUILDING 1 & 2
ELEVATIONS**

DATE PRINTED: 01-31-2025

DATE: 01-31-2025

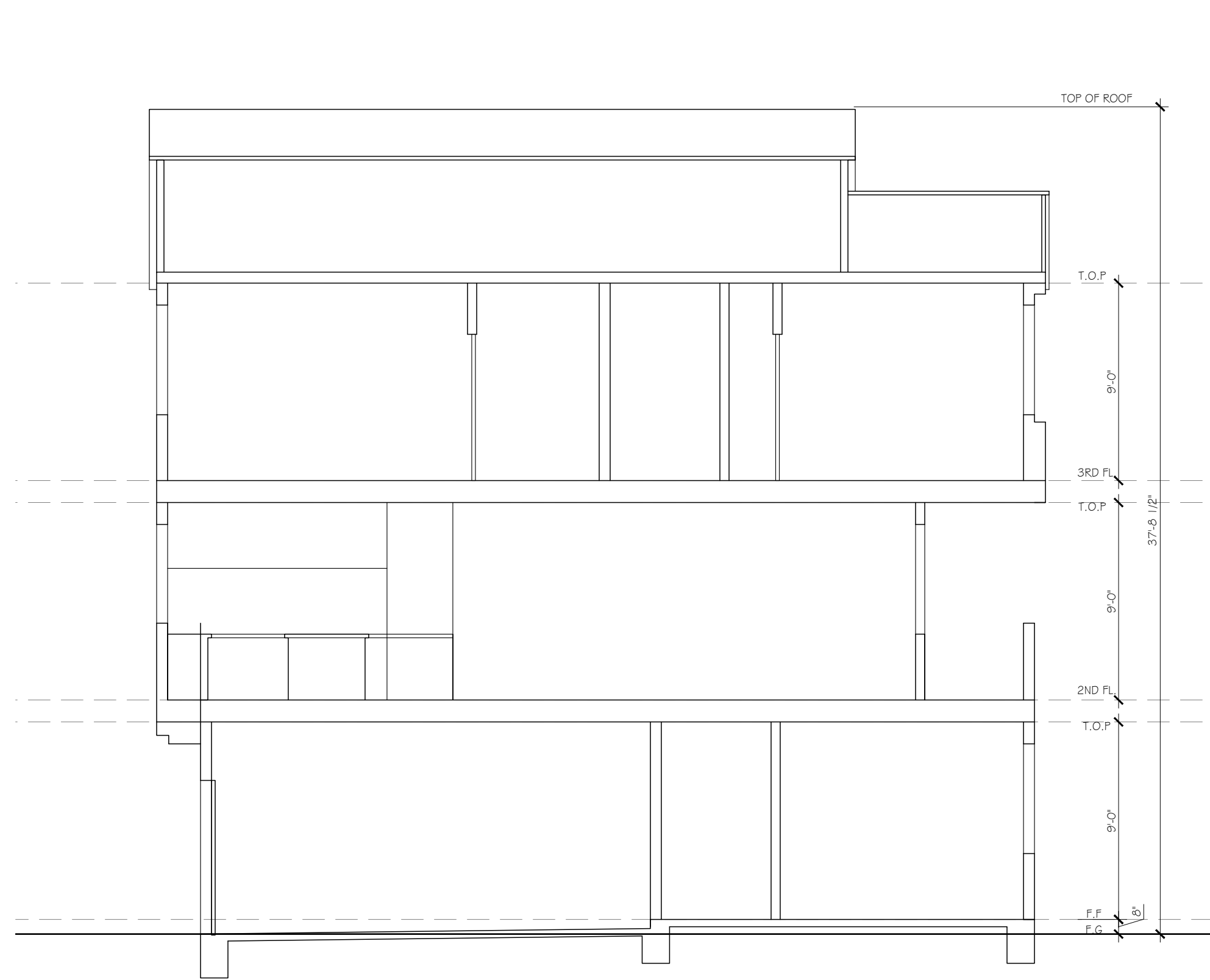
SCALE:

DRAWN: J.L.

JOB NO. 2501

SHEET

A201
OF SHEETS

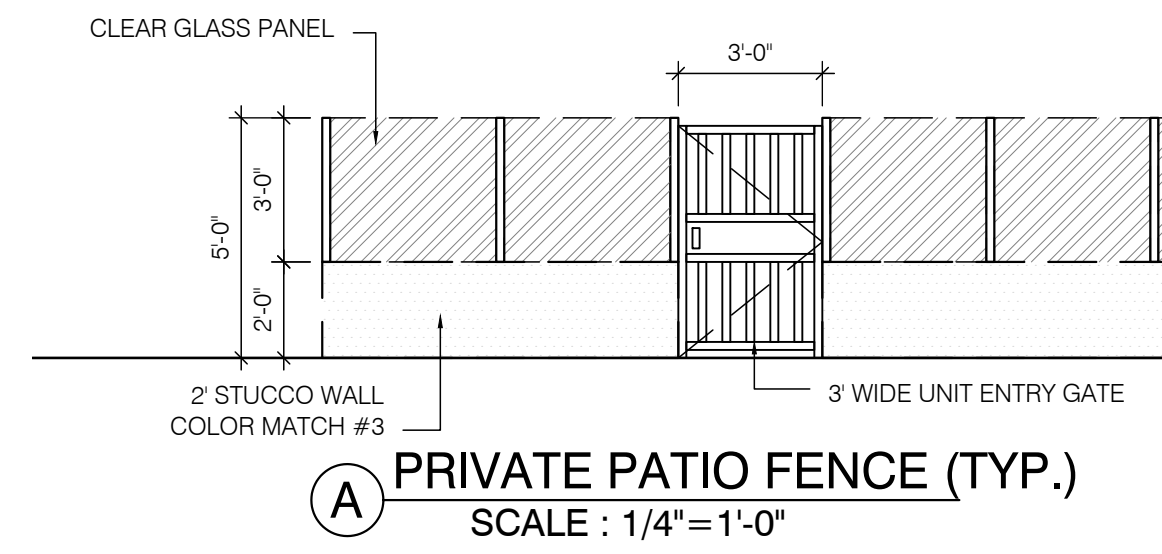


3 BUILDING CROSS SECTION
SCALE : 3/16"=1'-0"

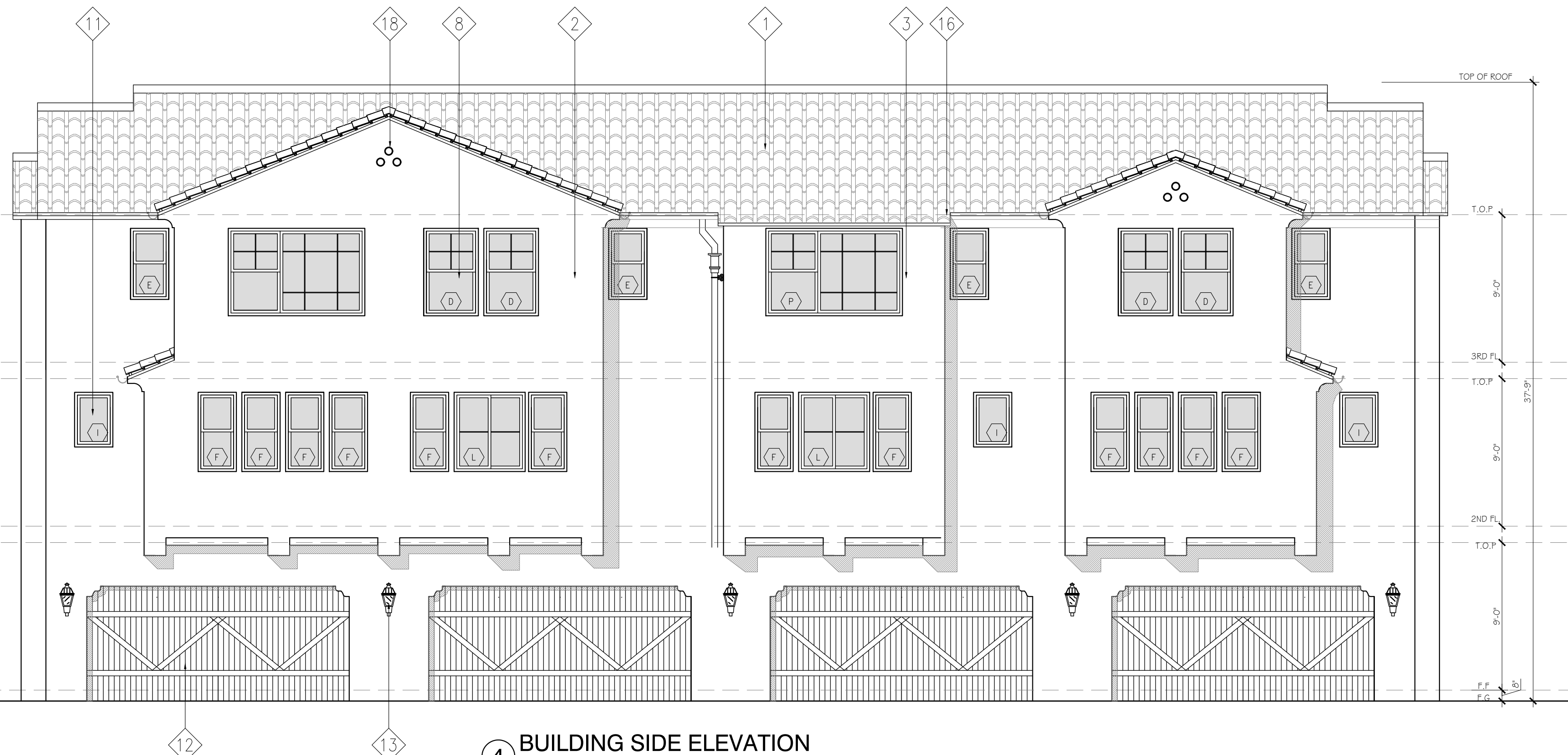


1 BUILDING FRONT ELEVATION
SCALE : 3/16"=1'-0"

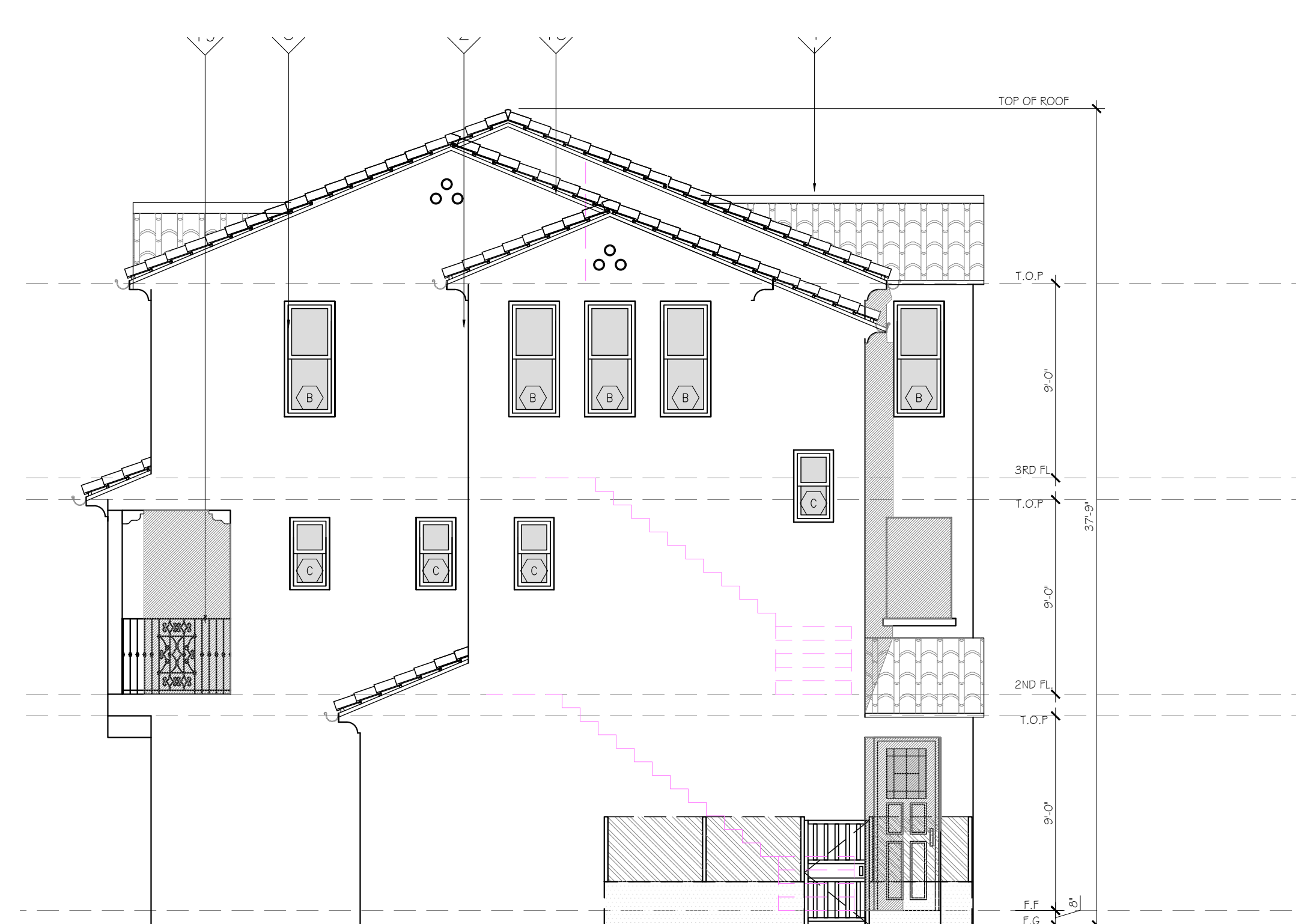
MATERIAL LEGEND		
1. CONCRETE TILE ROOF* EAGLE® CAPISTRANO STYLE, Hues of Burnt Orange, Brown Flashed PRODUCT: 3124 HILO SUNSET* ROOFING MATERIAL TO BE CLASS "A" (Fire Code 4710.1.2)	7. DOWNSPROUT-MEATALL, COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL ICC # ESR-1900 (ICBO E1-6034P)	13. EXTERIOR DECORATIVE LIGHTING SEA GULL 89062BL-46
2. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA SANDSTONE X-86 (BASE 200) FINE FINISH.	8. Milgard Tuscany Series-VINYL WINDOW CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) - EXTERIOR COLOR : TAUPE	15. DECORATIVE SPANISH STYLE TILE - 6.25" X 6.25" Talavera Tile
3. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA TIERRA 272L-(31) FINE FINISH.	9. Milgard Tuscany Series-VINYL FRANCE DOOR CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) - EXTERIOR COLOR: TAUPE	16. DECORATIVE WOOD CORBELS - OIL PAINTED DARK BROWN
4. RAIN GUTTER-COLOR MATCHES FRAZEE PAINT 8745A KAYAK BROWN	10. UNIT ENTRANCE DOOR-- SPANISH STYLE, FINISHED WITH DARK BROWN STAIN- COLOR MATCHES FRAZEE PAINT 8305D JERICHO BROWN	17. CAST STONE - PRECAST GFRC MOLDING COLOR MATCHES LA HABRA- SADDLEBACK
5. WROUGHT IRON BALCONY RAIL- PAINT BLACK	11. Milgard Tuscany Series- VINYL FIXED WINDOW W/ CLEAR GLASS, Recessed 2 inches (TYP.) EXTERIOR COLOR: TAUPE	18. SPANISH STYLE CLAY ATTIC GABLE VENT TUBE -SUNCOAST STONE, INC. - TERRACOTTA COLOR
6. DECORATIVE WINDOW WOOD TRIM-COLOR MATCHES FRAZEE PAINT 8350D-JERICHO BROWN	12. GARAGE DOOR-REMOTE CONTROL ROLL UP- WAYNE DALTON, 7004 BALI : PAINTED COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL	19. ROUGHT IRON BAR - OILE PAINTED BLACK
		20. UNIT PATIO FENCE WALL - TOTAL 5' TALL-SEE DETAIL A 3' TALL CLEAR GLASS PANEL ON 2' STUCCO WALL



A PRIVATE PATIO FENCE (TYP.)
SCALE : 1/4"=1'-0"



4 BUILDING SIDE ELEVATION
SCALE : 3/16"=1'-0"



2 BUILDING REAR ELEVATION
SCALE : 3/16"=1'-0"



T.J. BUILD
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PROJECT NAME:
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TOWNHOUSES DEVELOPMENT**
9909-9933 Valley Blvd.
El Monte, CA 91731

REVISIONS:

**BUILDING 3 & 4
ELEVATIONS**

DATE PRINTED: 01-31-2025

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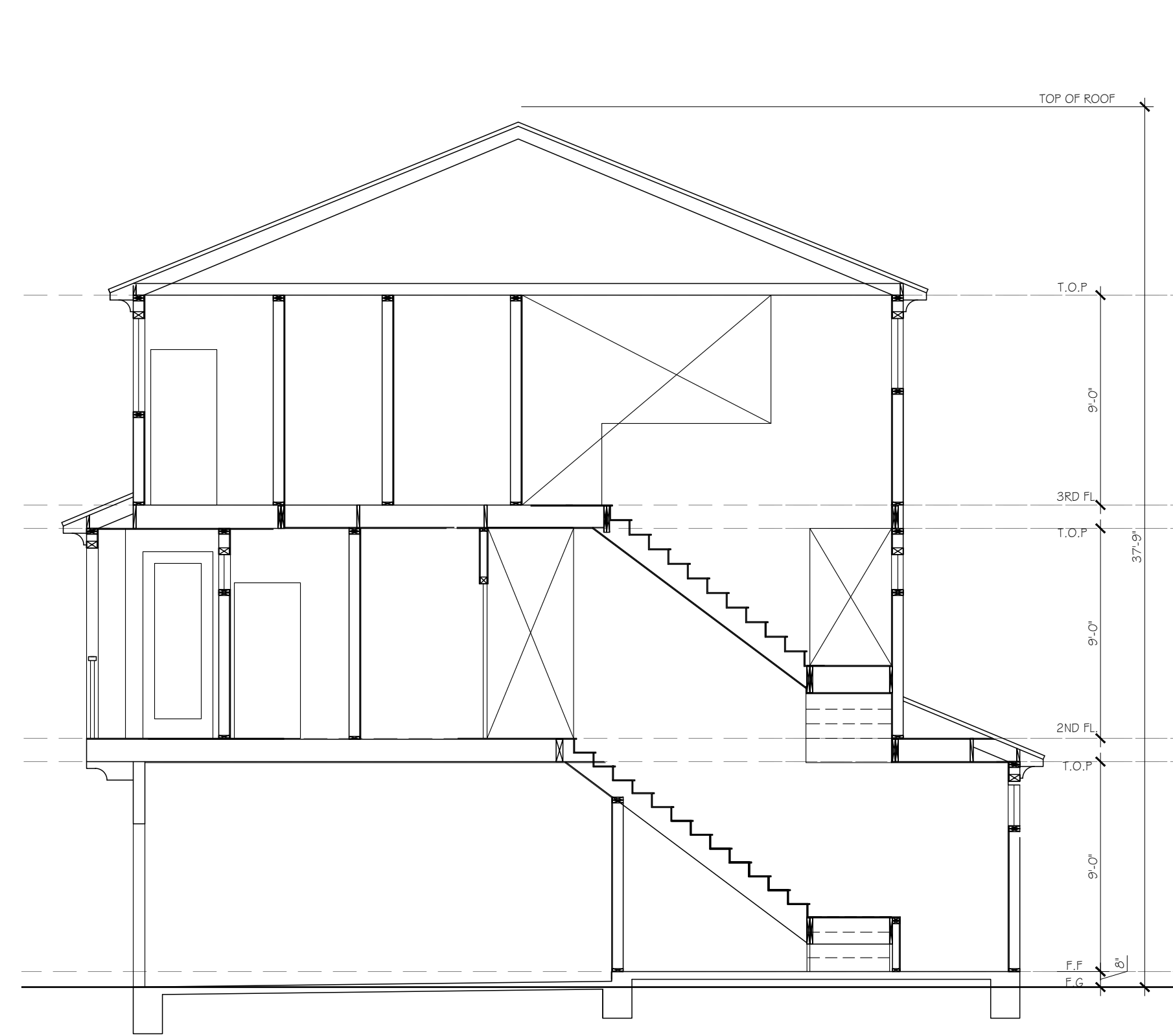
SCALE:

DRAWN: J.L.

JOB NO. 2501

SHEET

A202
OF SHEETS



3 BUILDING CROSS SECTION
SCALE : 3/16"=1'-0"

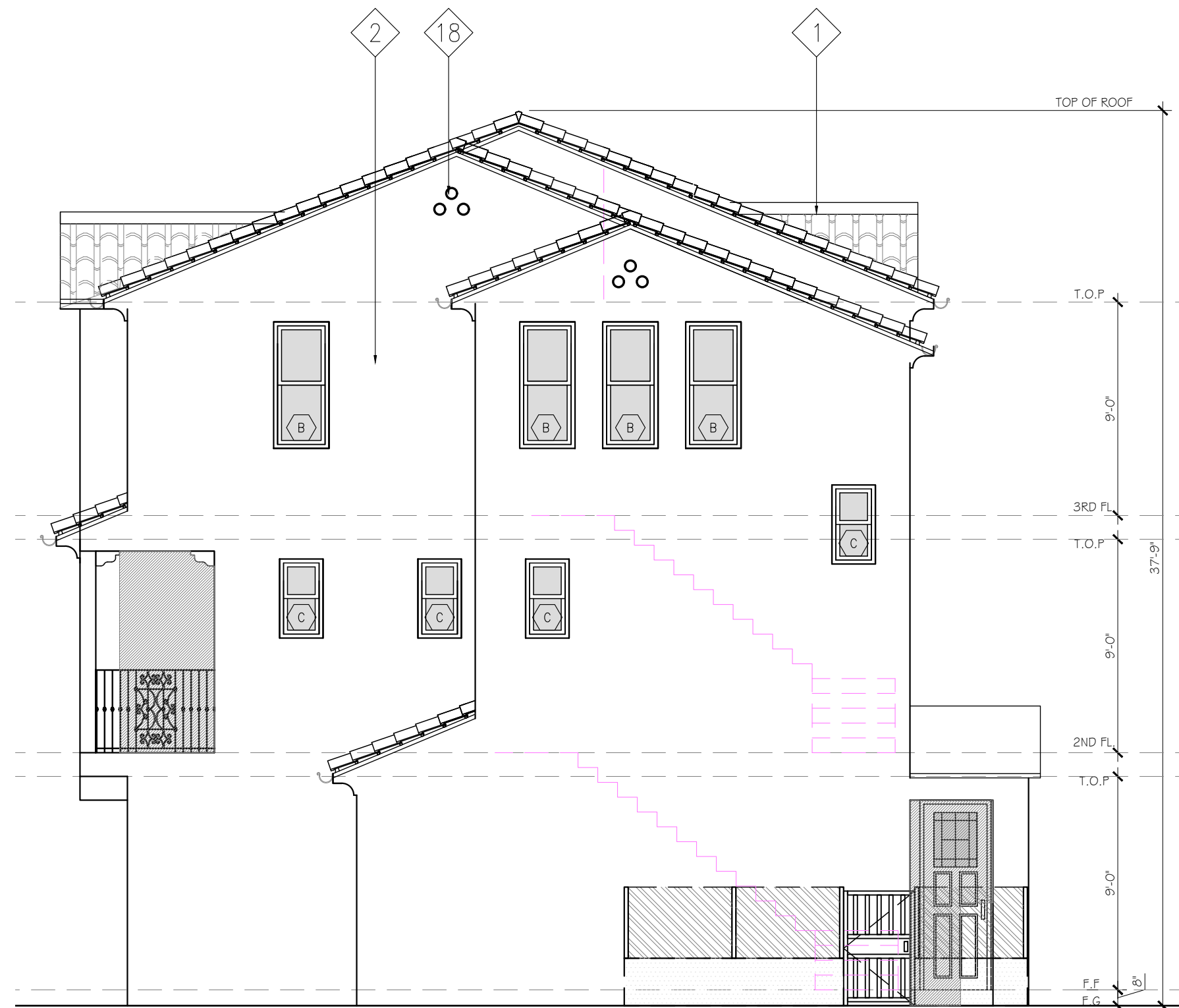


1 BUILDING FRONT ELEVATION
SCALE : 3/16"=1'-0"

MATERIAL LEGEND		
1. CONCRETE TILE ROOF* EAGLE® CAPISTRANO STYLE, Hues of Burnt Orange, Brown Flashed PRODUCT: 3124 HILO SUNSET* ROOFING MATERIAL TO BE CLASS "A" (Fire Code 4710.1.2)	ICC # ESR-1900 (ICBO EP-6034P)	
2. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA SANDSTONE X-86 (BASE 200) FINE FINISH.		
3. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA TIERRA 272L-(31) FINE FINISH.		
4. RAIN GUTTER-COLOR MATCHES FRAZEE PAINT 8745A KAYAK BROWN		
5. WROUGHT IRON BALCONY RAIL- PAINT BLACK		
6. DECORATIVE WINDOW WOOD TRIM-COLOR MATCHES FRAZEE PAINT 8350D-JERICO BROWN		
7. DOWNSPROUT-MEATAL, COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL		
8. Milgard Tuscany Series-VINYL WINDOW CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR : TAUPE		
9. Milgard Tuscany Series-VINYL FRANCE DOOR CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR: TAUPE		
10. UNIT ENTRANCE DOOR-- SPANISH STYLE, FINISHED WITH DARK BROWN STAIN- COLOR MATCHES FRAZEE PAINT 8305D JERICHO BROWN		
11. Milgard Tuscany Series- VINYL FIXED WINDOW W/ CLEAR GLASS, Recessed 2 inches (TYP.) EXTERIOR COLOR: TAUPE		
12. GARAGE DOOR-REMOTE CONTROL ROLL UP- WAYNE DALTON, 7004 BALI : PAINTED COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL		
13. EXTERIOR DECORATIVE LIGHTING SEA GULL 89062BL-46		
15. DECORATIVE SPANISH STYLE TILE - 6.25" X 6.25" Talavera Tile		
16. DECORATIVE WOOD CORBELS - OIL PAINTED DARK BROWN		
17. CAST STONE - PRECAST GFRC MOLDING COLOR MATCHES LA HABRA- SADDLEBACK		
18. SPANISH STYLE CLAY ATTIC GABLE VENT TUBE -SUNCOAST STONE, INC. - TERRACOTTA COLOR		
19. ROUGHT IRON BAR - OILE PAINTED BLACK		
20. UNIT PATIO FENCE WALL - TOTAL 5' TALL-SEE DETAIL A 3 TALL CLEAR GLASS PANEL ON 2 STUCCO WALL		



4 BUILDING SIDE ELEVATION
SCALE : 3/16"=1'-0"



2 BUILDING REAR ELEVATION
SCALE : 3/16"=1'-0"



**T.J. BUILD
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PROJECT NAME:
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REVISIONS:

**BUILDING 5
ELEVATIONS**

DATE PRINTED: 01-31-2025

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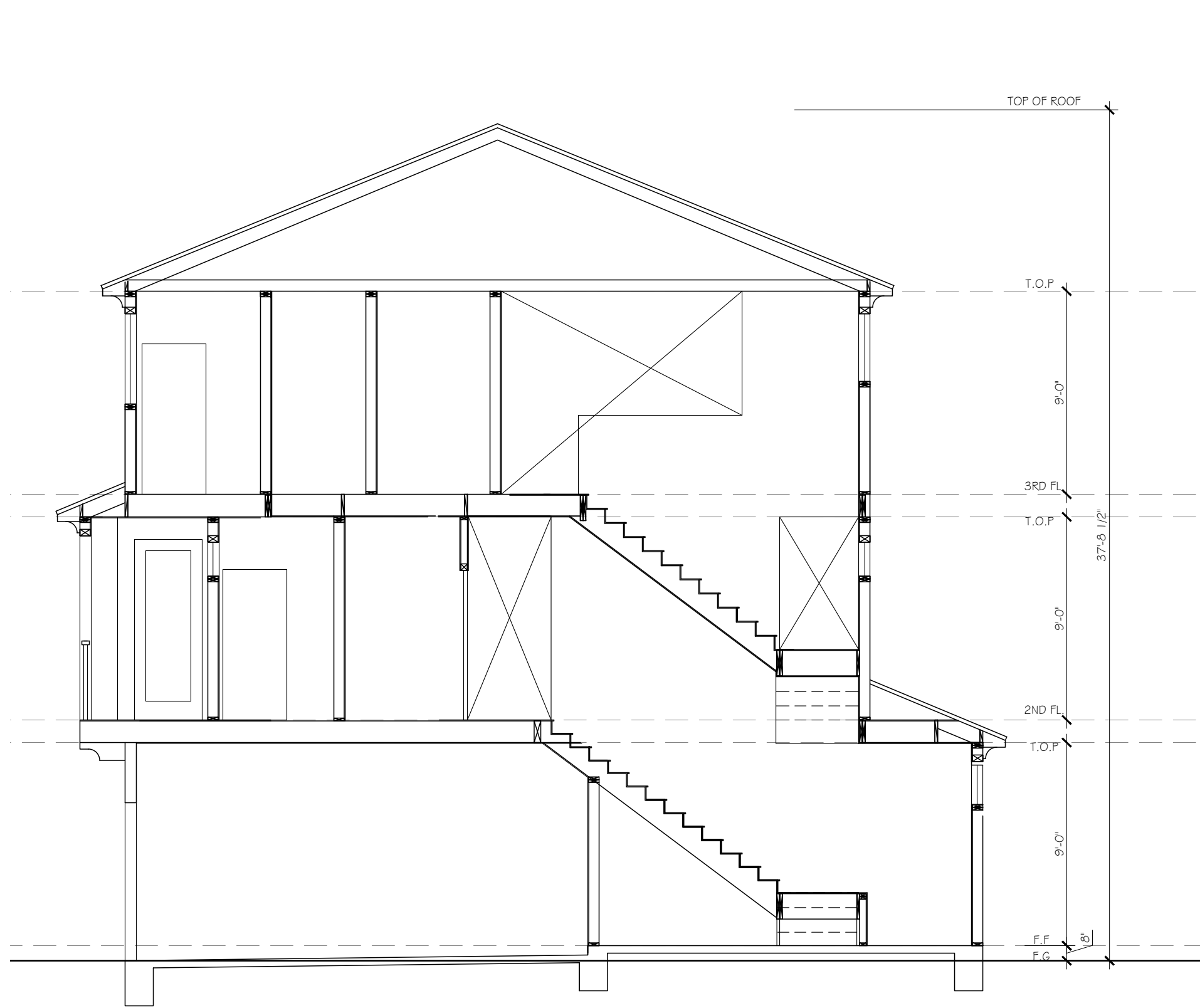
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DRAWN: J.L.

JOB NO. 2501

SHEET

A203
OF SHEETS

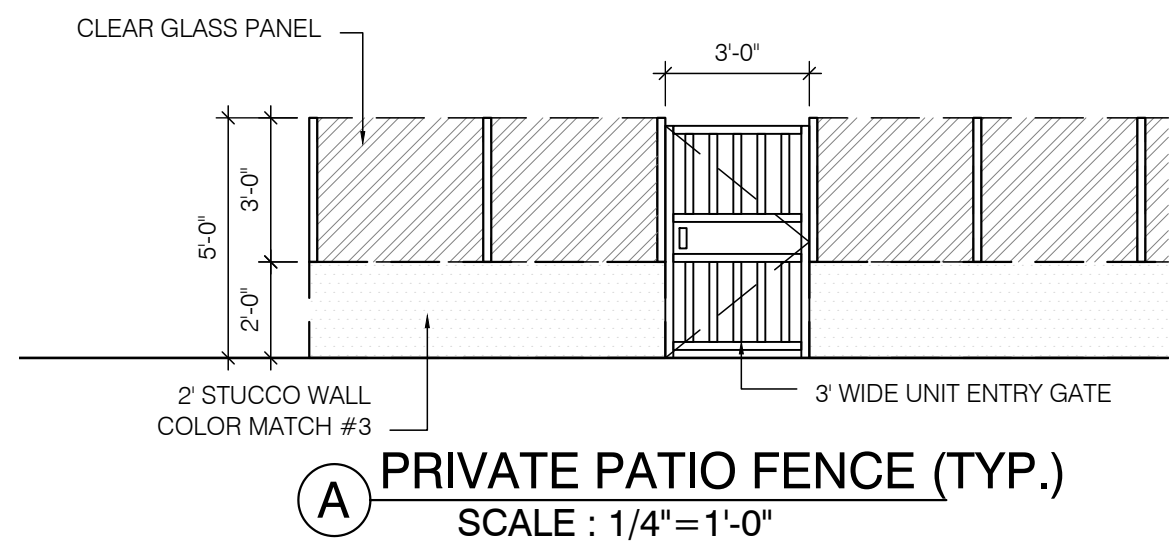


3 BUILDING CROSS SECTION
SCALE : 3/16"=1'-0"



1 BUILDING FRONT ELEVATION
SCALE : 3/16"=1'-0"

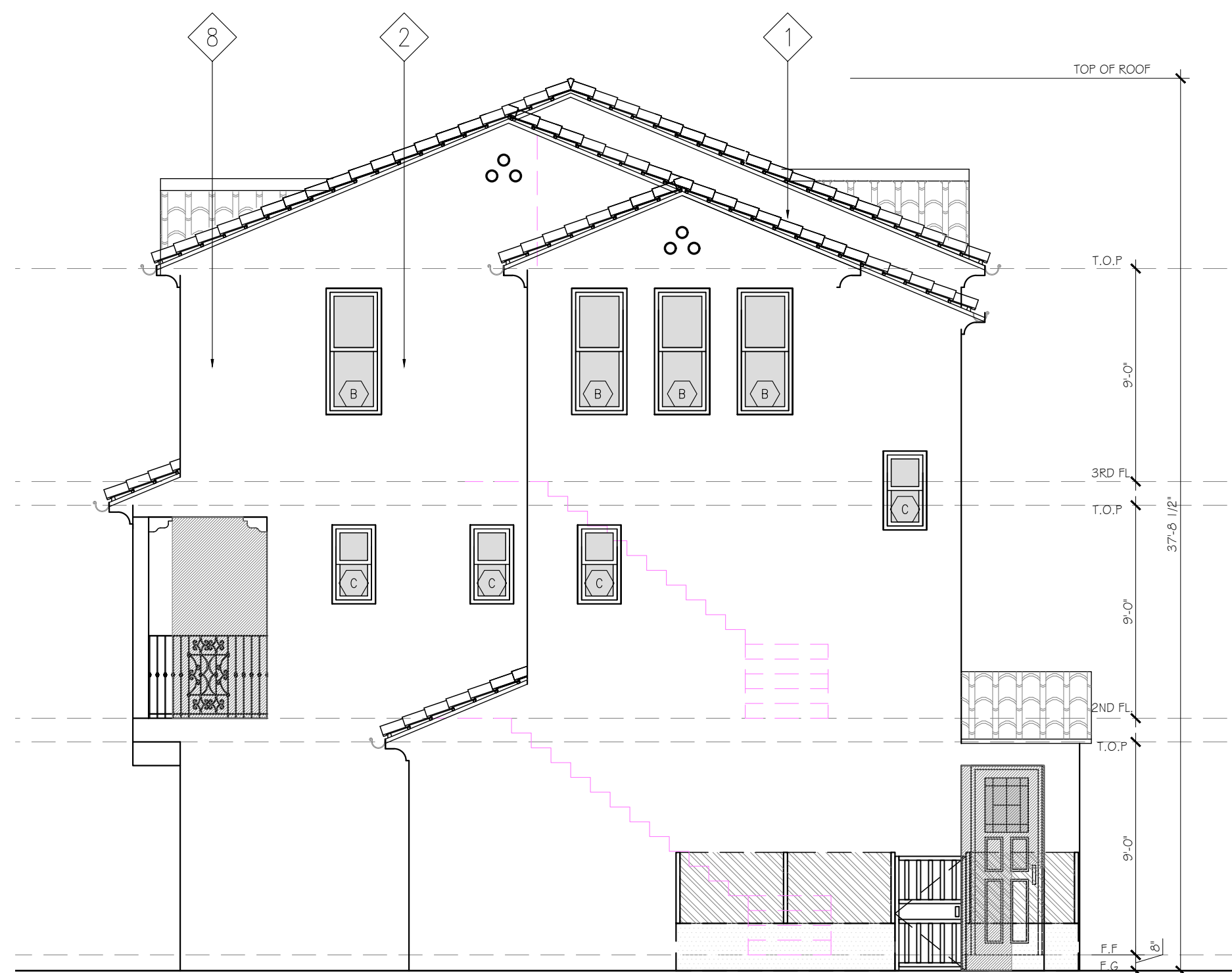
MATERIAL LEGEND		
1. CONCRETE TILE ROOF* EAGLE® CAPISTRANO STYLE, Hues of Burnt Orange, Brown Flashed PRODUCT: 3124 HILO SUNSET* ICC # ESR-1900 (ICBO EP-6034P) ROOFING MATERIAL TO BE CLASS "A" (Fire Code 4710.1.2)	7. DOWNSPROUT-METAL, COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL	13. EXTERIOR DECORATIVE LIGHTING SEA GULL 89062BL-46
2. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA SANDSTONE X-86 (BASE 200) FINE FINISH.	8. Milgard Tuscany Series-VINYL WINDOW CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR : TAUPE	15. DECORATIVE SPANISH STYLE TILE - 6.25" X 6.25" Talavera Tile
3. 7/8" EXTERIOR CEMENT PLASTER - COLOR MATCHES LA HABRA TIERRA 272L-(31) FINE FINISH.	9. Milgard Tuscany Series-VINYL FRANCE DOOR CASING W/ CLEAR GLASS, Recessed 2 inches (TYP.) -EXTERIOR COLOR: TAUPE	16. DECORATIVE WOOD CORBELS - OIL PAINTED DARK BROWN
4. RAIN GUTTER-COLOR MATCHES FRAZEE PAINT 8745A KAYAK BROWN	10. UNIT ENTRANCE DOOR-- SPANISH STYLE, FINISHED WITH DARK BROWN STAIN- COLOR MATCHES FRAZEE PAINT 830SD JERICHO BROWN	17. CAST STONE - PRECAST GFRC MOLDING COLOR MATCHES LA HABRA- SADDLEBACK
5. WROUGHT IRON BALCONY RAIL- PAINT BLACK	11. Milgard Tuscany Series- VINYL FIXED WINDOW W/ CLEAR GLASS, Recessed 2 inches (TYP.) EXTERIOR COLOR: TAUPE	18. SPANISH STYLE CLAY ATTIC GABLE VENT TUBE -SUNCOAST STONE, INC. - TERRACOTTA COLOR
6. DECORATIVE WINDOW WOOD TRIM-COLOR MATCHES FRAZEE PAINT 8350D-JERICHO BROWN	12. GARAGE DOOR-REMOTE CONTROL ROLL UP- WAYNE DALTON, 7004 BALI : PAINTED COLOR MATCHES FRAZEE PAINT 8746N TIMBER TRAIL	19. ROUGHT IRON BAR - OILE PAINTED BLACK
		20. UNIT PATIO FENCE WALL - TOTAL 5' TALL-SEE DETAIL A 3' TALL CLEAR GLASS PANEL ON 2' STUCCO WALL



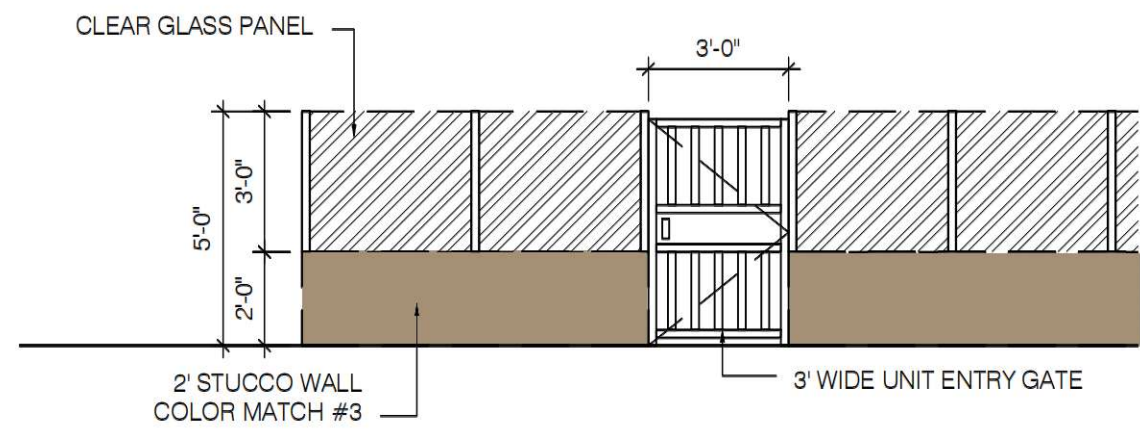
A PRIVATE PATIO FENCE (TYP.)
SCALE : 1/4"=1'-0"



4 BUILDING REAR ELEVATION
SCALE : 3/16"=1'-0"



2 BUILDING FRONT/SIDE ELEVATION
SCALE : 3/16"=1'-0"



**T.J. BUILD
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PROJECT NAME:
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REVISIONS:

**BUILDING 6 & 7
ELEVATIONS**

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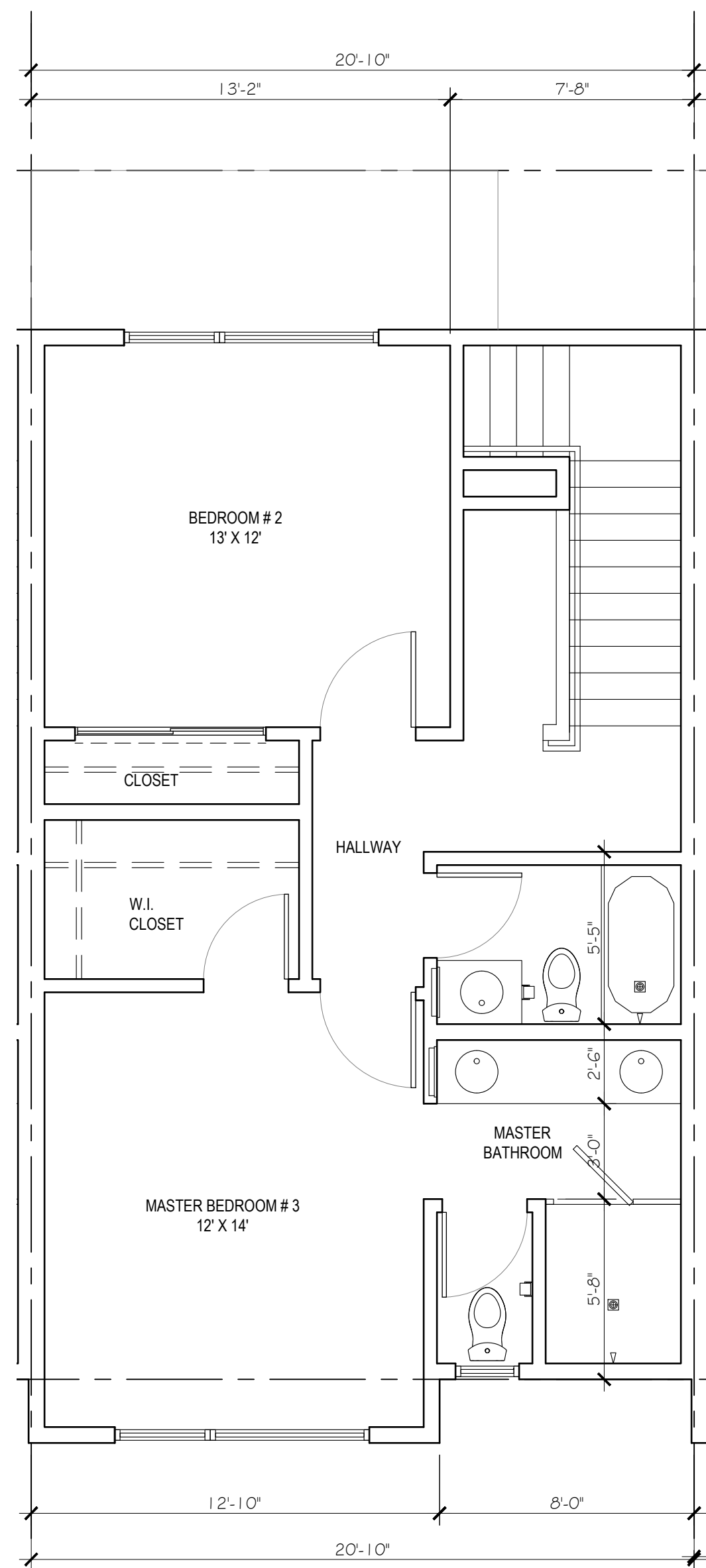
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DRAWING: J.L.

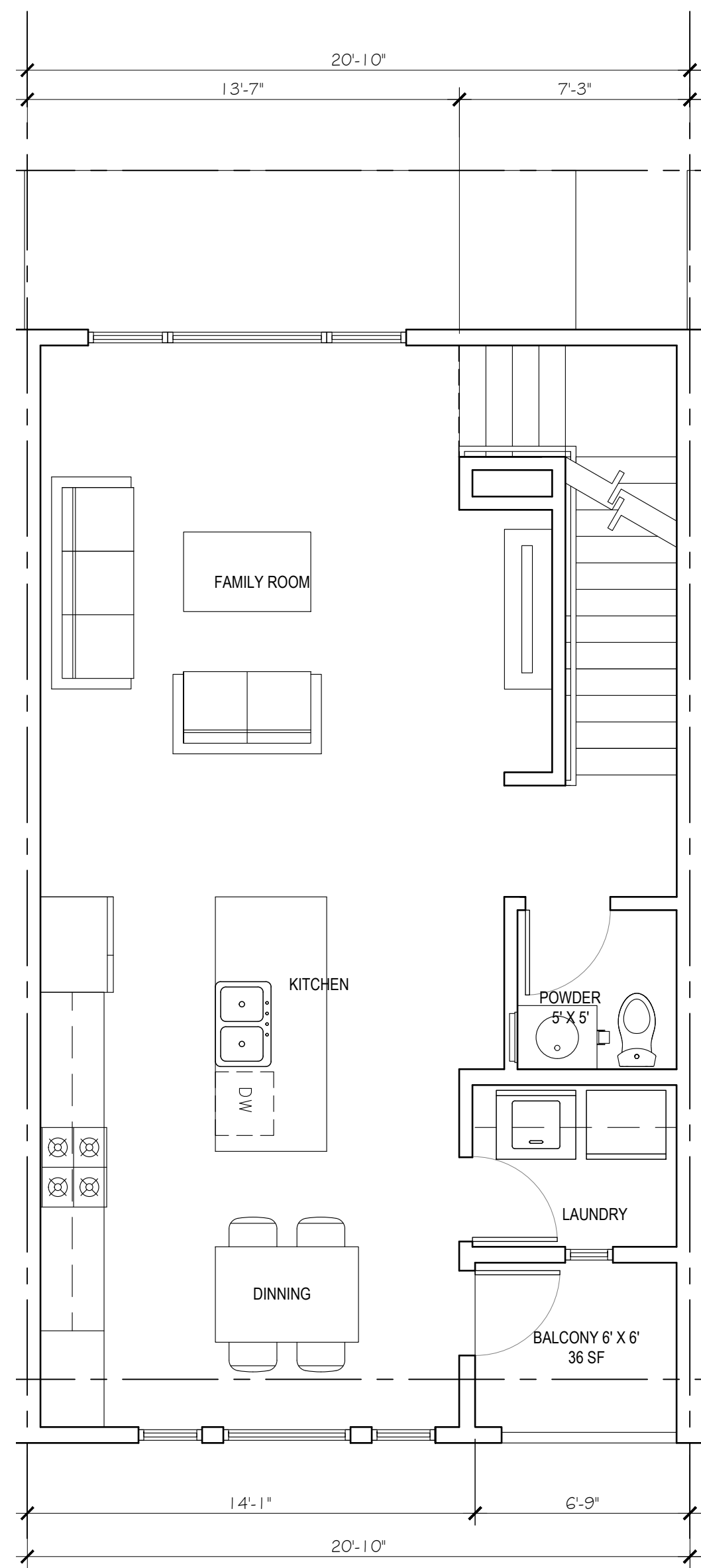
JOB NO. 2501

SHEET

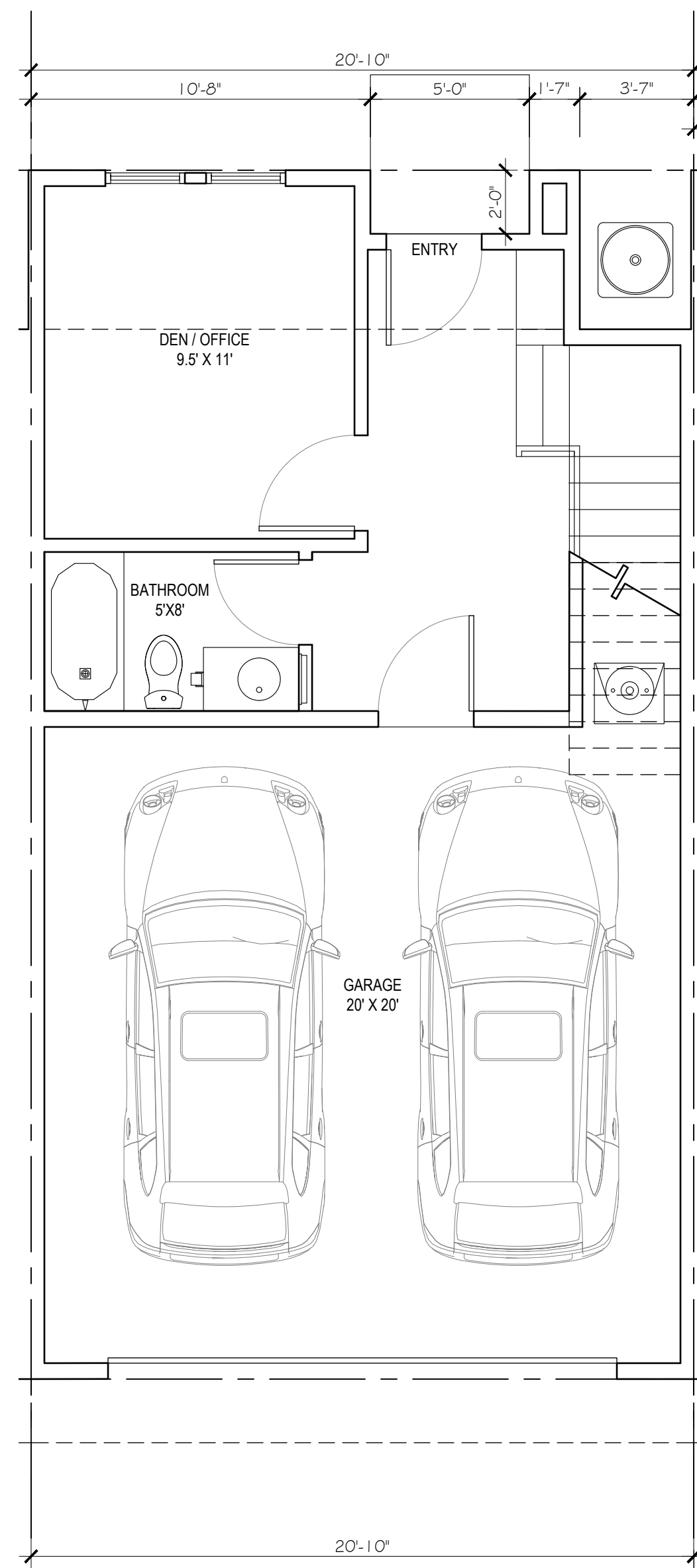
A204
SHEETS



LIVING AREA: 652 SF
3 THIRD FLOOR - LEVEL 3 @ +20.0'
SCALE : 1/4"=1'-0"



LIVING AREA: 726 SF
2 SECOND FLOOR - LEVEL 2 @ +10'
SCALE : 1/4"=1'-0"



LIVING AREA: 322 SF
1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/4"=1'-0"

UNIT TYPE A
GROUND FL: 320 SF
SECOND FL: 664 SF
THIRD FL: 628 SF
TOTAL -1,612 SF
2 BED ROOMS + 1 DEN, 3-1/2 BATH
BALCONY: 36 SF
GARAGE: 400 SF

REVISIONS:

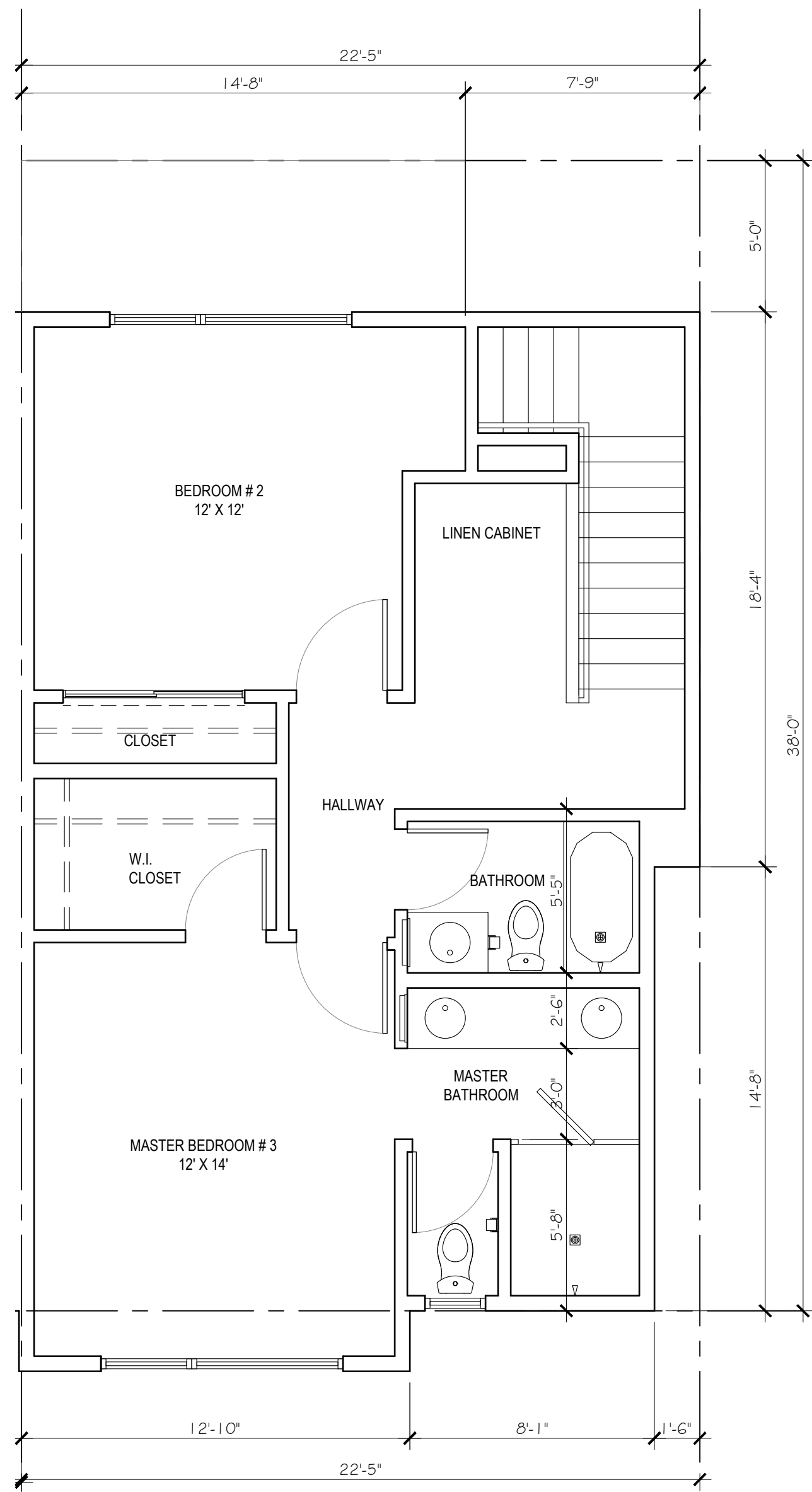
**ENLARGED FLOOR PLANS
UNIT TYPE- A**

DATE PRINTED:	01-31-2025
DATE:	01-31-2025
SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	

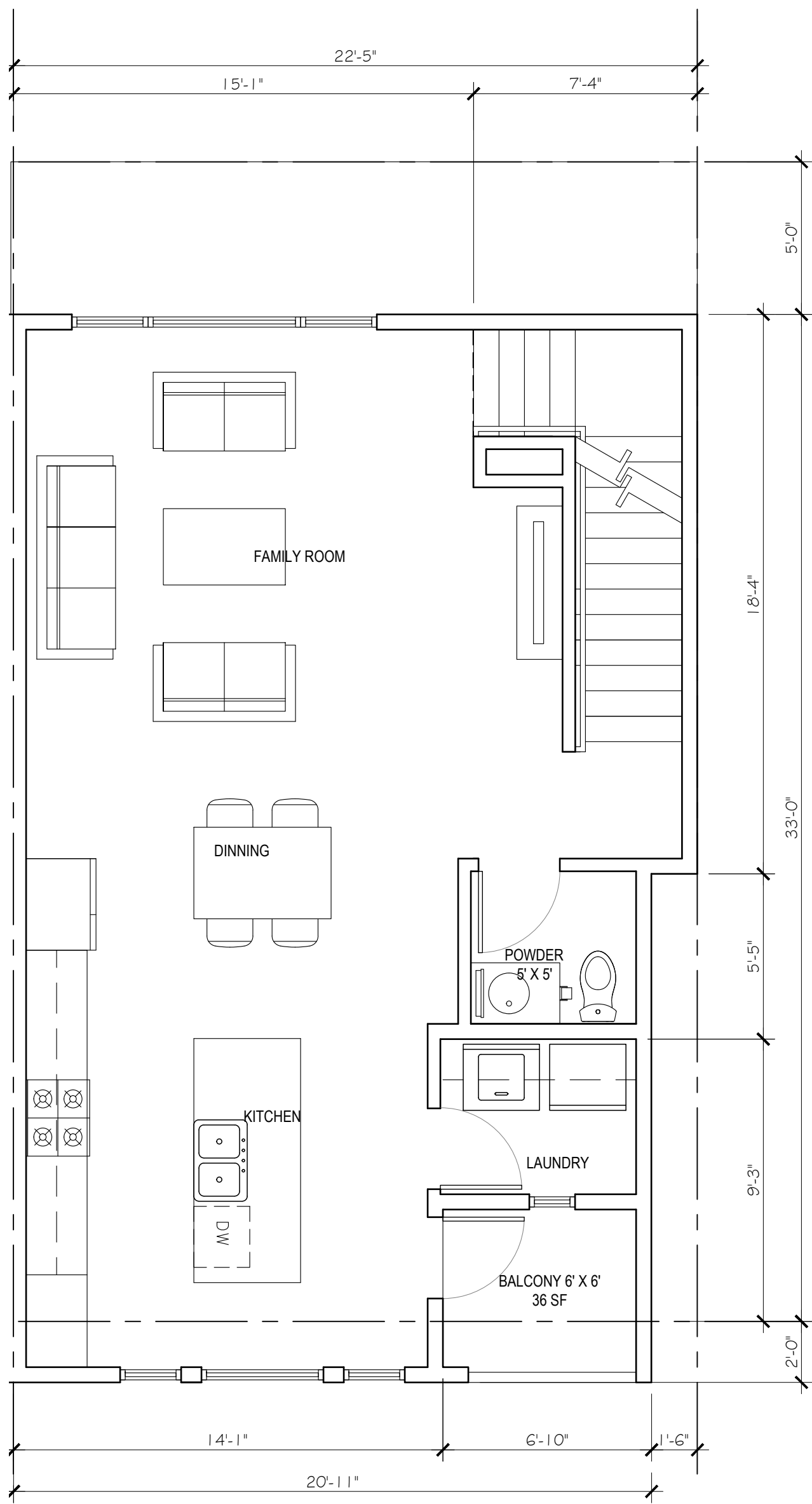
REVISIONS:

ENLARGED FLOOR PLANS
UNIT TYPE- B

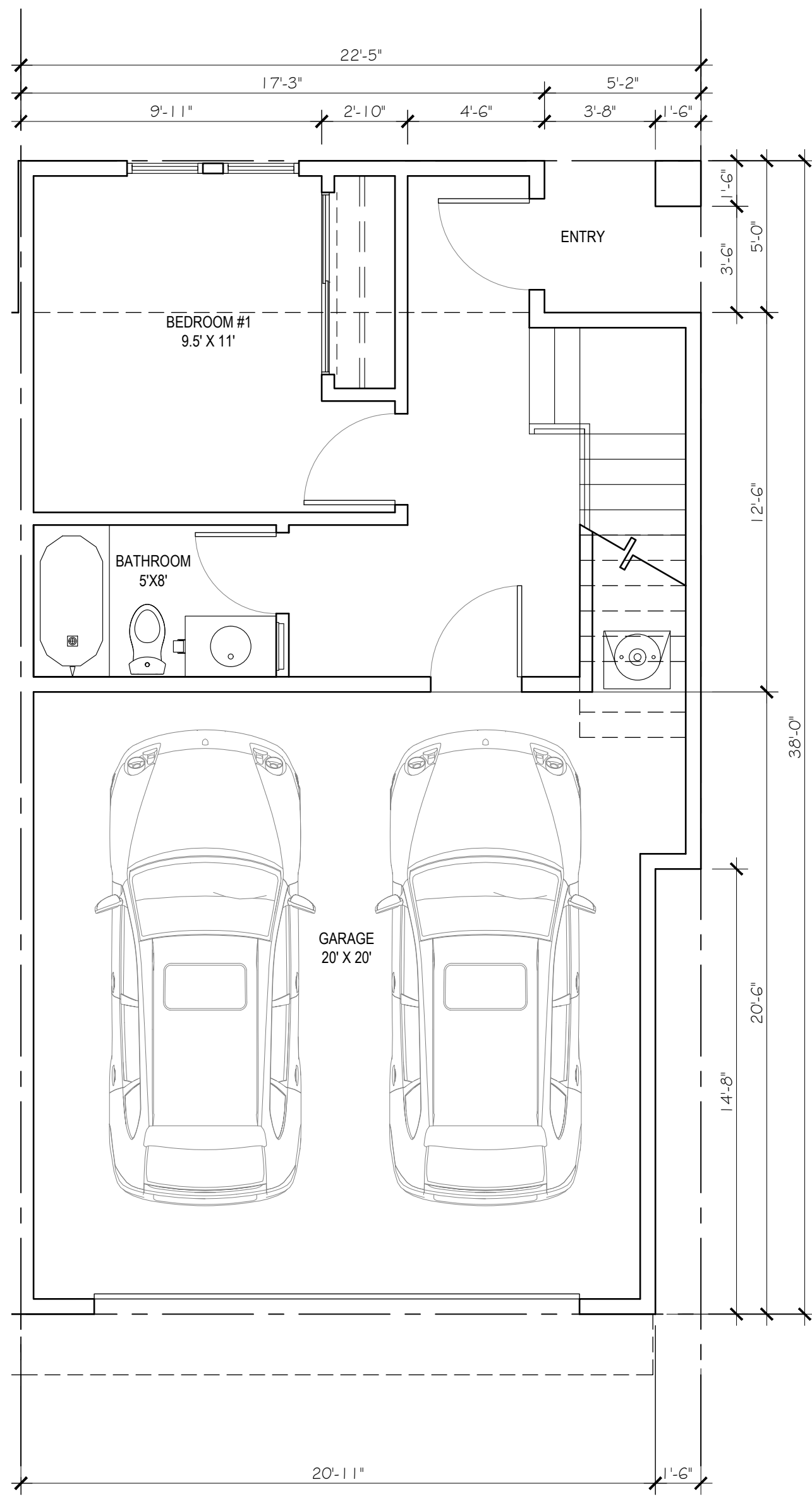
DATE PRINTED:	01-31-2025
DATE:	01-31-2025
SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	



LIVING AREA: 664 SF
3 THIRD FLOOR - LEVEL 3 @ +20.0'
SCALE : 1/4"=1'-0"

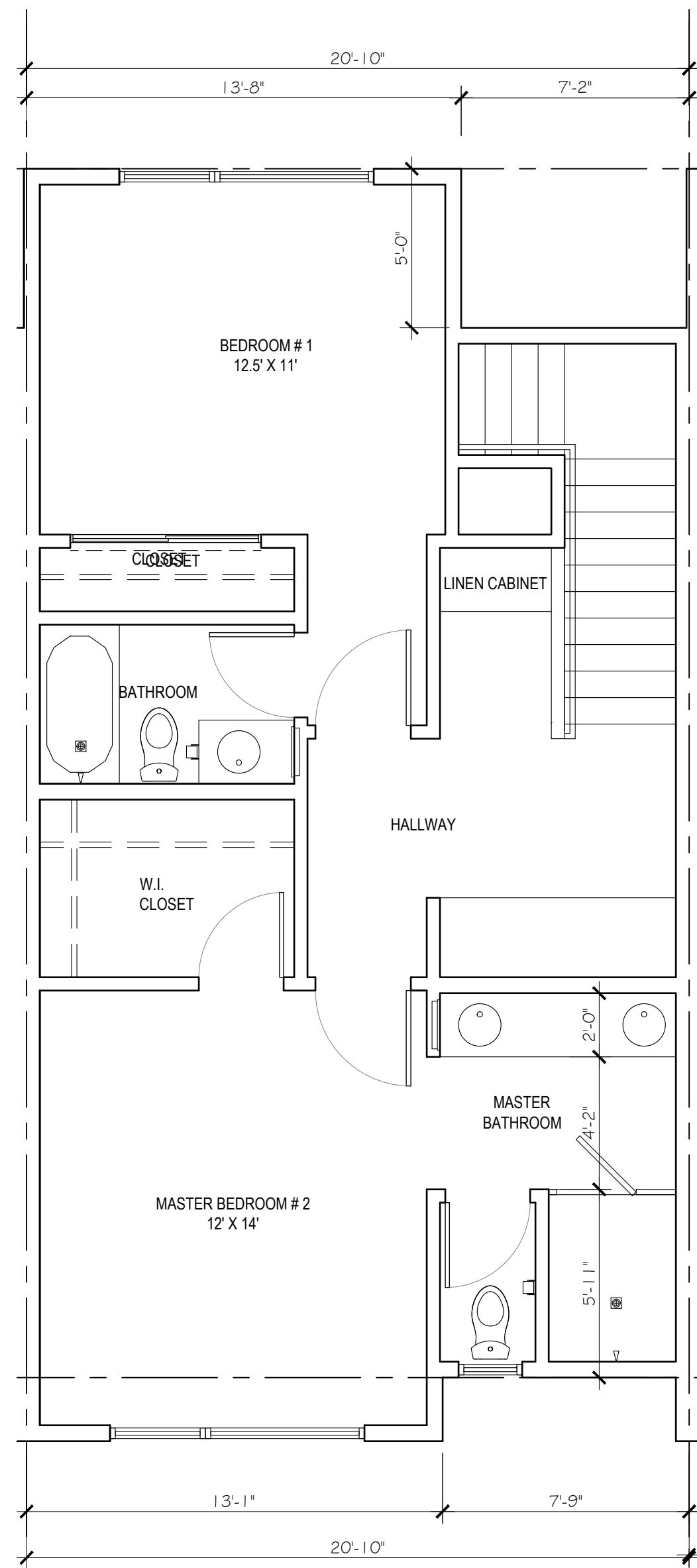


LIVING AREA: 706 SF
2 SECOND FLOOR - LEVEL 2 @ +10'
SCALE : 1/4"=1'-0"

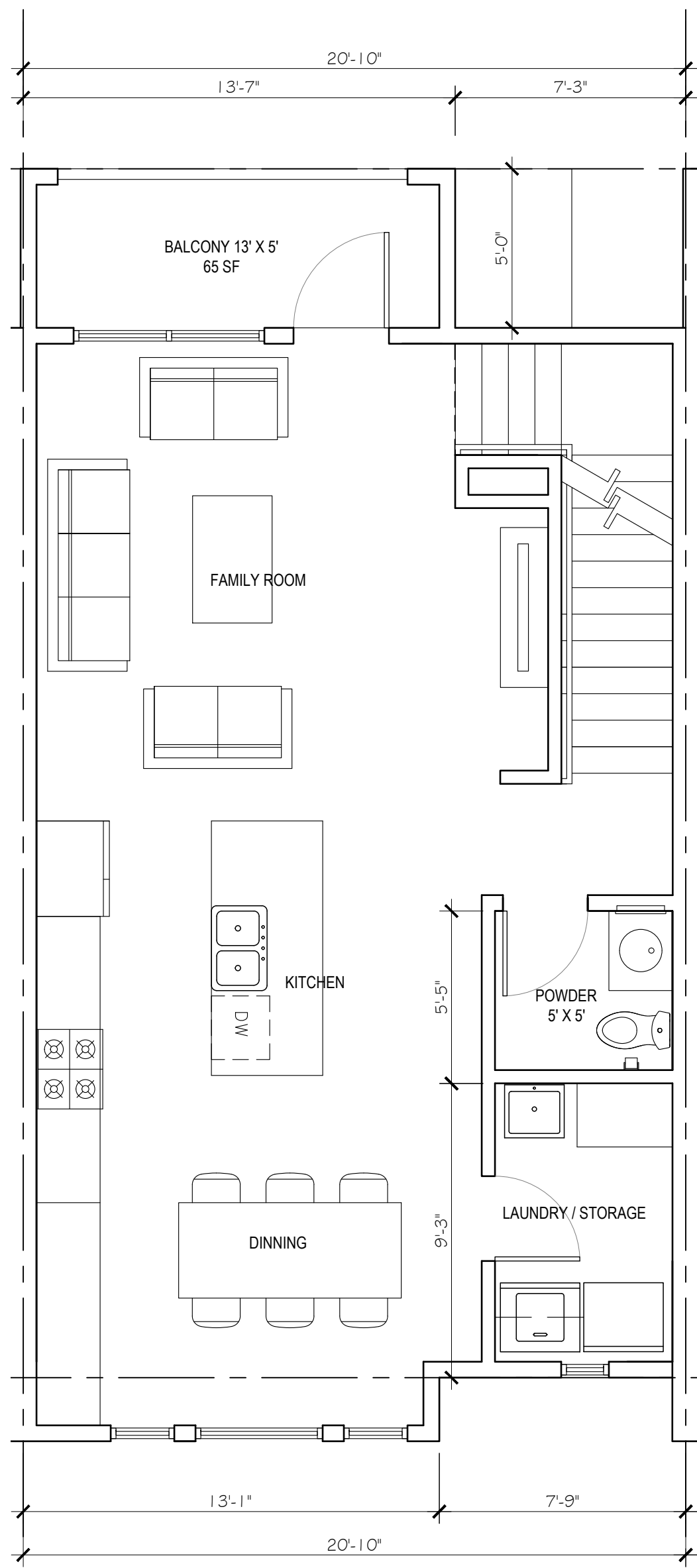


LIVING AREA: 360 SF
1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/4"=1'-0"

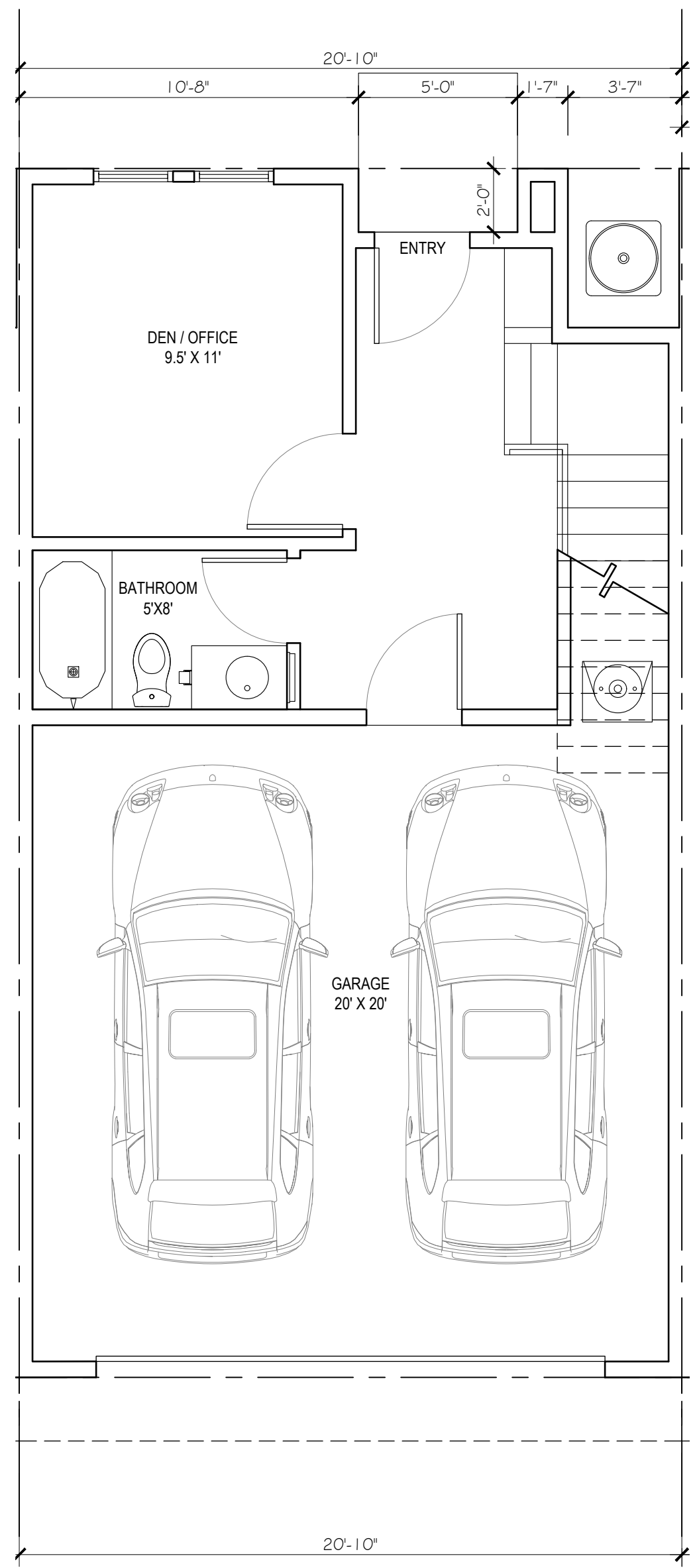
UNIT TYPE B
GROUND FL: 360 SF
SECOND FL: 706 SF
THIRD FL: 664 SF
TOTAL -1,730 SF
3 BED ROOMS, 3-1/2 BATH
BALCONY: 36 SF
GARAGE: 400 SF



LIVING AREA: 690 SF
3 THIRD FLOOR - LEVEL 3 @ +20.0'
SCALE : 1/4"=1'-0"



LIVING AREA: 682 SF
2 SECOND FLOOR - LEVEL 2 @ +10'
SCALE : 1/4"=1'-0"



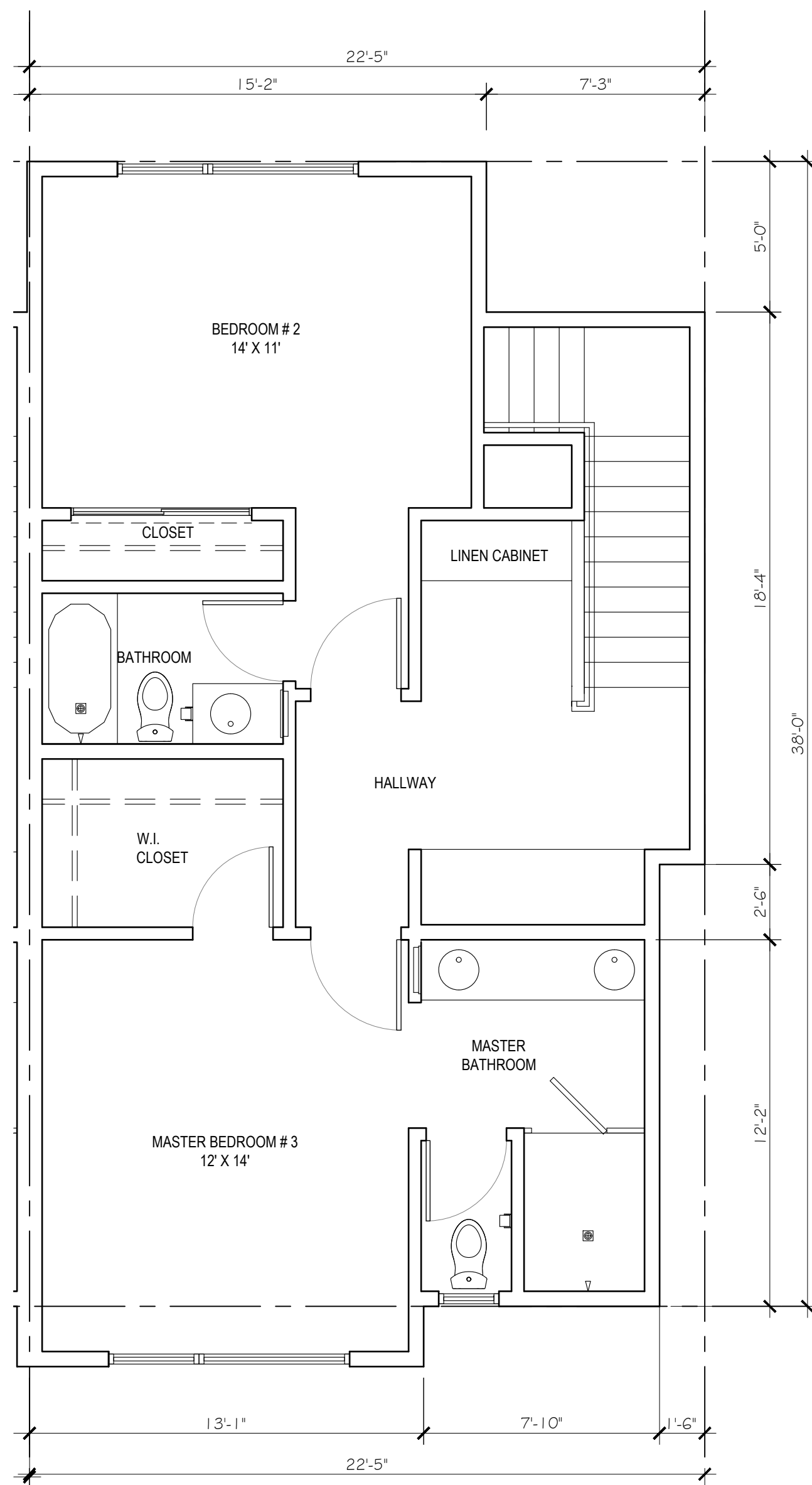
LIVING AREA: 320 SF
1 GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/4"=1'-0"

UNIT TYPE C
GROUND FL: 320 SF
SECOND FL: 682 SF
THIRD FL: 690 SF
TOTAL -1,692 SF
2 BED ROOMS + 1 DEN, 3-1/2 BATH
BALCONY: 65 SF
GARAGE: 400 SF

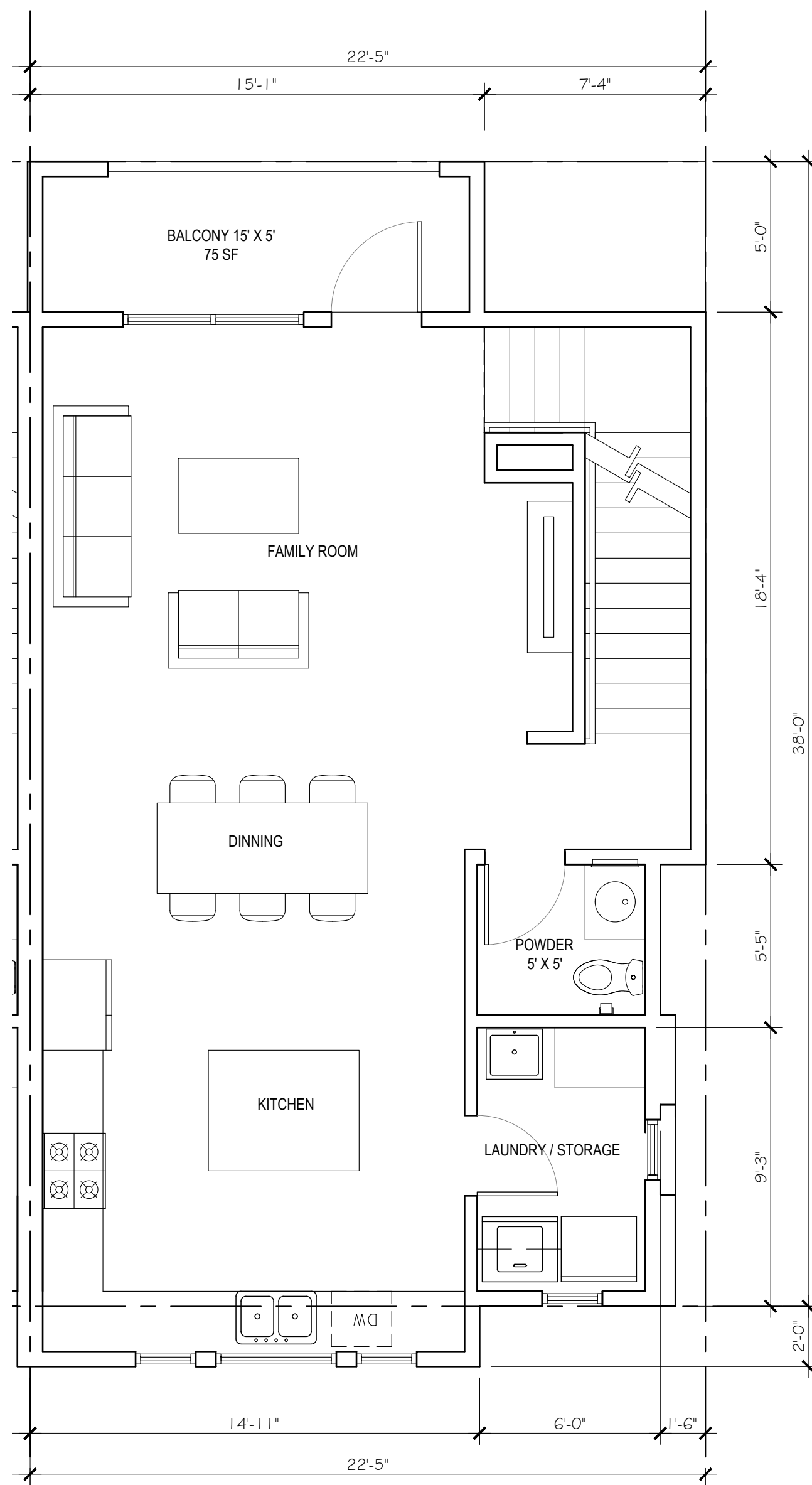
REVISIONS:

ENLARGED FLOOR PLANS
UNIT TYPE- C

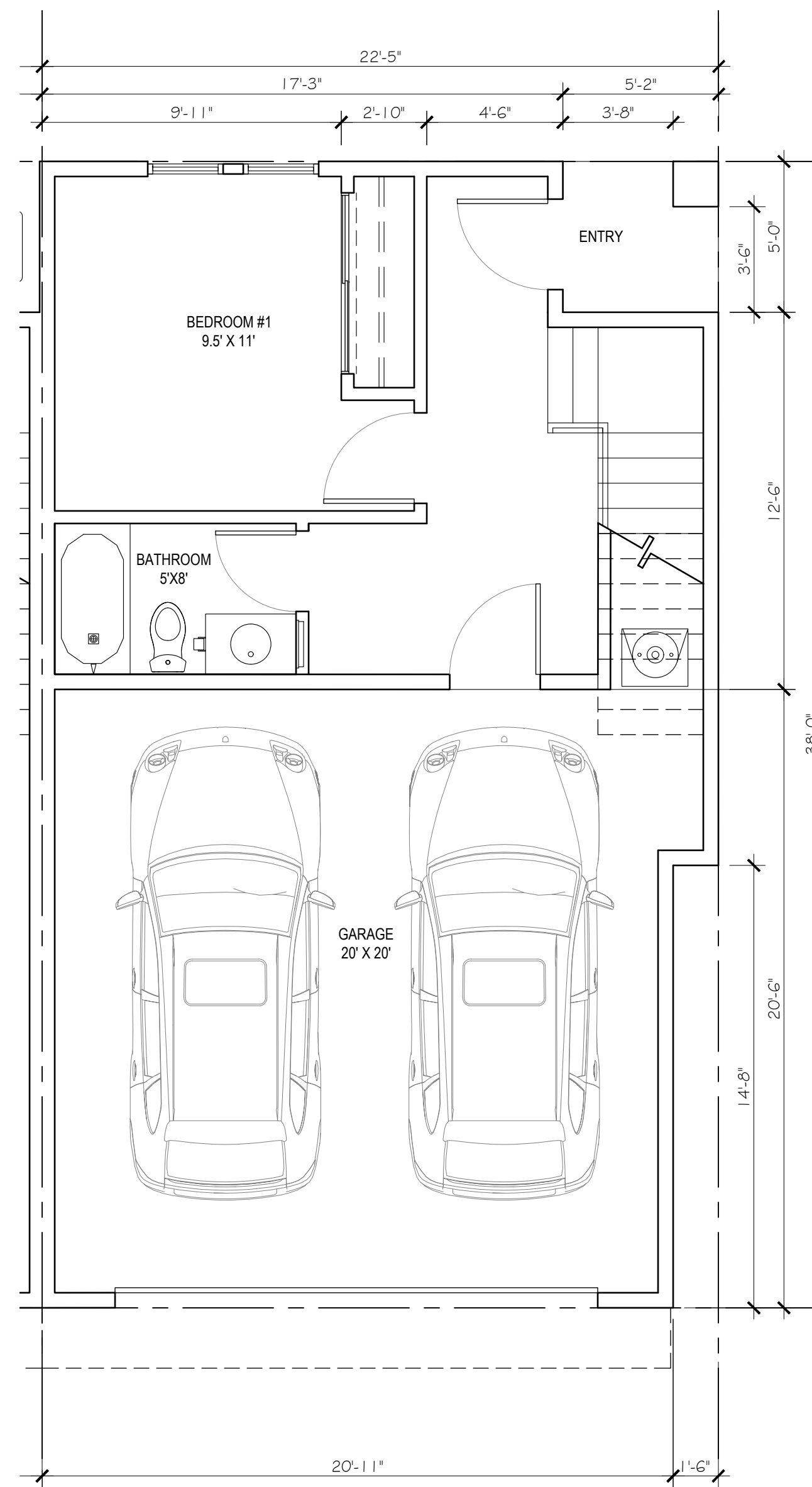
DATE PRINTED:	01-31-2025
DATE:	01-31-2025
SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	



LIVING AREA: 730 SF
③ THIRD FLOOR - LEVEL 3 @ +20.0'
SCALE : 1/4"=1'-0"



LIVING AREA: 732 SF
② SECOND FLOOR - LEVEL 2 @ +10'
SCALE : 1/4"=1'-0"



LIVING AREA: 360 SF
① GROUND FLOOR - LEVEL 1 @ +_0'
SCALE : 1/4"=1'-0"

UNIT TYPE D
GROUND FL: 360 SF
SECOND FL: 732 SF
THIRD FL: 730 SF
TOTAL -1,822 SF
3 BED ROOMS + DEN, 3-1/2 BATH
BALCONY: 75
GARAGE: 400 SF

REVISIONS:

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SCALE:	
DRAWN:	J.L.
JOB NO.	2501
SHEET	